Town of North Kingstown, Rhode Island

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TO: Michael Embury, Town Manager

FROM: Jonathan J. Reiner, Director of Planning

DATE: November 16, 2012

RE: Route 2/102 Final Process Summary

cc: Planning Commission
Jeannette Alyward, Town Clerk
2/102 Stakeholder Group

Attached please find the Final Process Summary and associated appendices for the Route 2/102 Stakeholder process. This document was released as a draft early this week to the Stakeholder Group, the Planning Commission and other interested parties for review and input. After receiving input from interested parties, the consultant team and planning staff finalized the report for distribution to the Planning Commission and Town Council review.

If you should have any questions or require additional information, please feel free to contact me at jreiner@northkingstown.org or 268-1570.

Attachment

Route 2/102 Visioning Process
Final Process Summary
November 16, 2012

Developed by:
The Consensus Building Institute
Horsley Witten Group, Inc.
Dodson & Flinker

North Kingstown, RI
Route 2 and 102 Stakeholder Visioning Process
Final Stakeholder Group Recommendations

Report for the Town Council
on behalf of the Stakeholder Group

November 16, 2012

This report was drafted by Ona Ferguson and reviewed by the Project Team. It is has been reviewed by Stakeholder Group members for accuracy and many of their suggestions were incorporated. This document is intended to summarize the outcome and final recommendations of the Stakeholder Visioning Process for the Rt. 2/102 area in North Kingstown. It is not intended to summarize the many diverse and important perspectives on all the issues discussed over the course of the process.

All the recommendations in this report should be considered together. For full information on the process and the discussions over the past few months, please see the other documents relevant to the work of this group, which are available on the town website (http://www.northkingstown.org/visioning-process-routes-2-and-102). Several of these documents, along with recent communications from municipal staff, are provided as appendices to this summary. Appendices include:

Appendix A-Memo from Department of Planning to Town Manager entitled "2/102 memo and backup for Comp Plan and ZO amendments" and related materials.
Appendix B-All Stakeholder Group meetings.[1]
Appendix C-Development Scenarios tested by the public and the Stakeholder Group.
Appendic D-Summary of input from public meetings.
Appendix E-Reference list of all materials posted to the project website and on file with the Department of Planning.

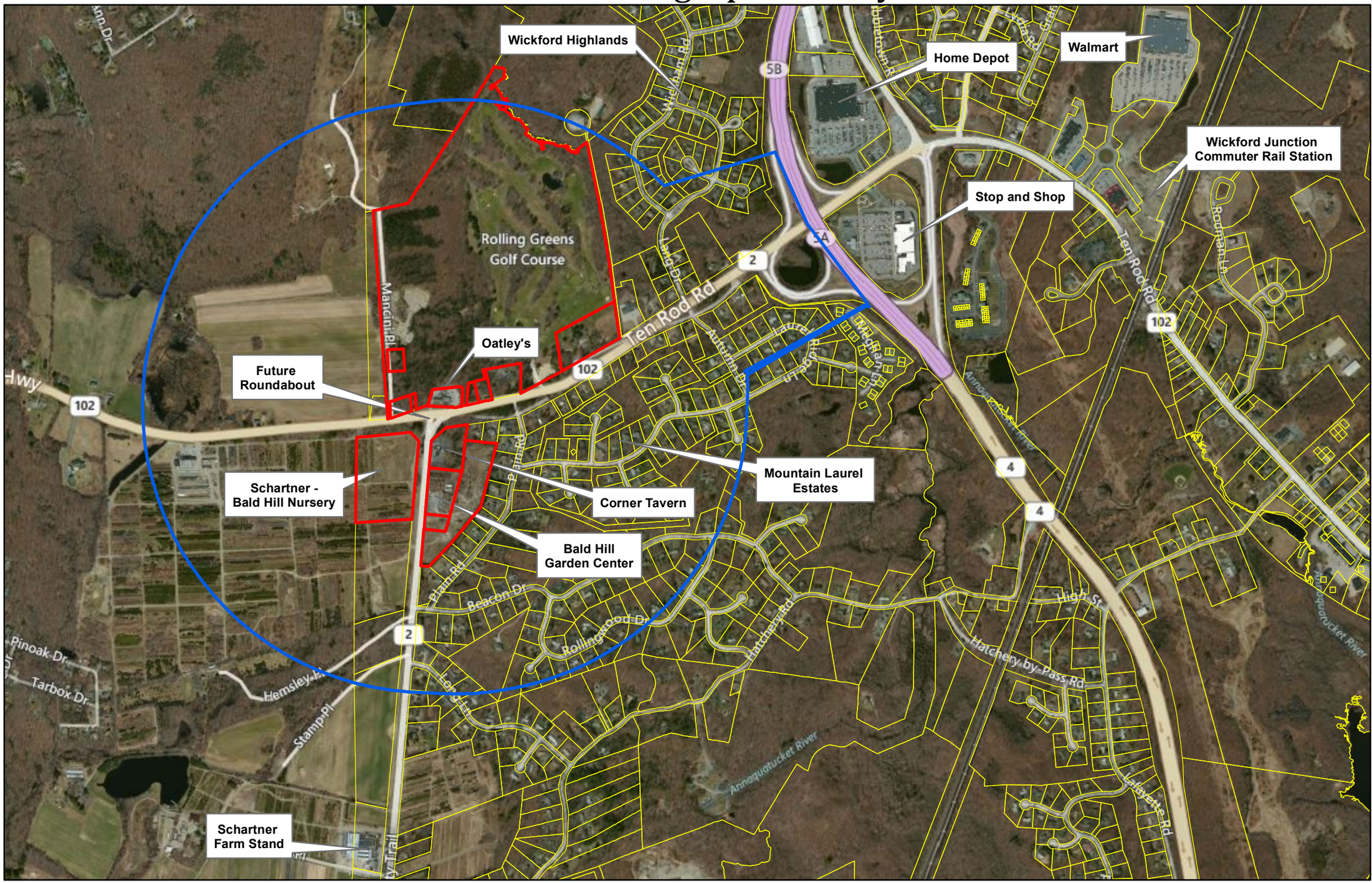
I. INTRODUCTION & BACKGROUND

The Area

The westernmost intersection of Routes 2 and 102 in North Kingstown is a somewhat rural, less developed area on the western edge of town near Route 4, the new Wickford Junction train station and rural Exeter. See the following page for a map of the study area (which includes a primary focus on the parcels outlined in red and a discussion of impacts within the blue area). It is a well-traveled area, with an estimated 25,000 cars passing through it each day. It is surrounded by residential neighborhoods to the east, and today contains primarily two businesses, the Corner Tavern and Oatley's Restaurant, and several other parcels zoned for either residential use, or commercial use. Some residentially and commercially zoned land is used for agricultural purposes. While the area is currently quiet in terms of physical development, it could be built out extensively under current zoning. The Schartner Farm parcel in North Kingstown was recently not approved by Statewide Planning for a comprehensive plan amendment that changed 14 acres of a 20 acre parcel from "residential" to "commercial", and the

[1] The Meeting 5 Summary will be posted on the website as soon as it has been approved by the stakeholder group members.

Route 2 and 102 Geographic Study Area



0 500 1,000 2,000 3,000 Feet

Study Area Boundary

Focus Area Parcels

Parcels

This map is for reference purposes only. The Planning Department utilizes this information as a reference tool for review. This map is not intended for use as a site plan.

owner of the Rolling Greens and Oately's restaurant parcels are currently requesting a zoning change from mostly residential land to a mixed use zoning designation.

The Challenge

People who care about what happens at this intersection have a range of interests and opinions. Those who own commercial land in the study area and those who own residential land surrounding the study area are personally invested in the area and have a range of expectations of how the area will or will not grow. In addition, residents in town who travel through this area have diverse perspectives on how the intersection should be developed. The area is outside of the state's Urban Services Boundary, so new unplanned or uncoordinated intense commercial development was not envisioned by state plans. Given the substantial interest in this area, and the fact that a comprehensive plan and zoning dispute with Statewide Planning in this area has caused North Kingstown's planning to be out of compliance with the state guide plan, there was a need to figure out what should happen at this intersection. While the Planning Commission and Town Council could have made this determination themselves, the Town Council decided to convene a multi-stakeholder group representing the key stakeholders to seek a joint vision for the future of the area thereby resolving different expectations and trying to find a workable solution.

Process Purpose and Goals

The North Kingstown Town Council convened this group and allocated funds to support this process to generate a community vision for the western intersection of Routes 2 and 102. The North Kingstown Comprehensive Plan must be in compliance with the Rhode Island Land Use 2025 State Guide Plan Element and, because of recent changes to the North Kingstown Comprehensive Plan, in order for the plan to be in compliance with Land Use 2025, it was suggested by the state that a plan and vision for this intersection be developed. The group was convened to explore interests, increase understanding, highlight and refine options and seek agreement, if possible, on what should happen in the area by the western Rt. 2/102 intersection. If the group reached consensus or broad-based support for a recommendation, the Town Council and the Planning Commission agreed to take that under serious consideration. Given the strong opinions, feelings and interests about what happens at this intersection, many people said they hoped this group could bring some clarity of what to expect in the future in a way that will have broad benefits for many different stakeholders.

II. PROCESS OVERVIEW

Description of the Process

This intersection has been under review in one form or another for the past six years, through a number of zoning and development applications, and a recent planning study looking at village style development patterns.

In July of 2012, the Town Council contracted with Ona Ferguson of the Consensus Building Institute to complete an informal assessment of the situation at this intersection. Ona spoke confidentially with 16 individuals representing a range of perspectives and wrote up her impression of the issues at hand and her recommendations for a process for convening a group to work on developing a vision for the study area. (See the summary of the July 2012 interviews and process recommendations.) At a Town Council

meeting at the end of July 2012, the Council appointed a stakeholder group and decided to proceed with a stakeholder process. They also approved a change order with the Horsley Witten Group, under the direction of Senior Planner Nathan Kelly with subcontractors Dodson & Flinker, led by Landscape Architect Peter Flinker, and subcontractor Ona Ferguson from the Consensus Building Institute. These individuals plus staff and an intern from the North Kingstown Planning Department formed the Planning Team that managed this process.

Stakeholder Group Membership

A Stakeholder Group was formed to represent several key perspectives. The group was created by identifying key interests, specifically: business/development, rural/residential, conservation, town-wide "healthy places" efforts, economic development, and Exeter and North Kingstown planners. Following the interviews in July, Ona Ferguson of the Consensus Building Institute proposed a balance among these interests and a group of members, based on who she heard might be legitimate in the eyes of the different groups. This included a distinction between members who would participate fully and vote in the final decision and those who would participate fully but not vote in the final outcome in order to prevent conflicts of interest. (A more detailed description of the final voting procedures as developed by the stakeholder group can be found in the first two meeting summaries.)

The Town Council took list provided by Ona Ferguson and altered it in hopes of making it easier to work with the group by appointing a 16 member group that was slightly smaller than the one suggested, with 11 voting members. They reduced the two largest groups (business and residential) from six to four each, reduced the representation from the Healthy Places Working Group from two to one, had two members representing a conservation perspective, and added an economic development non-voting member. Two non-voting members from North Kingstown planning and two non-voting members from Exeter planning also remained on the list. With the reduction of residential representatives, the Town Council reduced the proposed number of residents in the Stakeholder Group who live right near the study area to three and added a residential representative with town-wide perspective. Members then had the option of identifying an alternate to attend every meeting and sit at the table if their member had to miss a meeting. Three Stakeholder Group members selected alternates.

Stakeholder membership included:

Stakeholder Group Membership		
Total #	***Interest Represented***	***Representatives with affiliation in parenthesis*** *(note some may have multiple affiliations)*
FULL VOTING MEMBERS		
4	Business / Development	Mike Baker (Lafayette Mill) Mark Hawkins (Rolling Greens) Vaughn Oatley (Oatley's) Rit Schartner Sr. (Schartner Farms, with Rich Schartner II as his alternate)
4	Rural / Residential	Kevin Maloney (Wickford Highlands Home Owners' Assn, with Albert Lyons as his alternate) Colin O'Sullivan (MLHOA) John Patterson (resident) Jeff Zucchi (Heritage Hills, with Tom Kolling as his alternate)

1	Healthy Places Working Groups	John Nosatch (walk/bike workgroup)
2	Conservation	Ahren Cohen (Conservation Commission) Meg Kerr (environmental professional)
NON-VOTING / AD-HOC MEMBERS		
2	Exeter Planning	Frank DiGregorio (Planning Commission) David Schweid (Planner)
2	N. Kingstown Planning	Paul Dion (Planning Commission) Jon Reiner (Planner)
1	Economic Development	Martha Pughe (NK Economic Development)
11 Voting Members + 5 Non-Voting Members = 16 Total Members plus 3 Alternates		

Stakeholder Group Meetings – The Stakeholder Group met five times between the end of August and early November 2012. These were mostly three-hour meetings and were open to the public. (For more information on the content of the meetings, please see the Stakeholder Group meeting summaries in Appendix B).

The group discussed a range of topics, some relatively briefly, others more extensively. Among these topics were some where data was available and others where there were many unknowns. The group was asked to forge ahead despite not having all of the information that they wanted, and some participants expressed concern especially about the lack of data about likely economic impacts of different types of development on the town budget and on other areas of town. Topics discussed include:

- Planning for water use – both water quality and quantity
- The zoning and comprehensive plan designations for this intersection
- The character of the study area and what people hope it will be in the future
- Traffic impacts
- General principles of the economics of development for the town, residential neighbors and land owners of land in the primary study area
- Design and layout of development
- Roadway improvements, including pedestrian and bicycle paths
- Open space and farmland preservation
- Impacts to abutting communities and surrounding development patterns

Broad Public Input – The process also included multiple ways for people outside of the stakeholder group to participate. Members of the public were invited to contact those who represented their interest on the Stakeholder Group (as Stakeholder Group members were encouraged to reach out to constituents throughout the process). For those members of the public who wanted to weigh in directly and give their opinions, there were two public workshops and a neighborhood focus group that the stakeholder group helped plan. The purpose of the workshops was to first gather information from the public about what they hope to see and to then build on their input with some responses and options and again get their input. The neighborhood focus group was specifically designed to enable neighbors

to give their input easily and in close proximity to the study area. This focus group was modeled on the first public meeting at the recommendation of the Stakeholder Group's rural/residential representatives.

In the month of October, these three additional events were held to give members of the public an opportunity to share their perspective (two public workshops and one neighborhood focus group). These three meetings were attended by at least 100 distinct members of the public who signed in at one or more event, 14 of the 16 members of the Stakeholder Group, and the members of the Project Team. There was also a way to give input online for people who are not able to attend public meetings or preferred to participate online. The questions asked online mimicked those asked at the first two public events, and approximately 50 people gave input online (about 43 of these were people who did not participate in any of the other public events). At any time during the process, anyone was welcome to contact the facilitator with questions or concerns. A few people also made statements during the public comment period that was made available at the end of the first four Stakeholder Group meetings.

The public was engaged in these ways in order to provide input to the Stakeholder Group tasked with developing a shared vision. Stakeholder Group members had the opportunity to listen to and/or read the input from the public, and the input was discussed and synthesized at the beginning of the October 25 (and fourth) Stakeholder Group meeting. Most Stakeholder Group members also attended one or more of these sessions to hear public input directly. These sessions gave those Stakeholder Group members representing the rural/residential perspective a chance to hear directly from the constituents they were representing in the visioning process. (For more information on the input from the public, see the summary of input from the public workshops located in Appendix D).

What Happens Next?

This final process summary will be submitted to the Town Council and Planning Commission for their consideration. The Stakeholder Group was told that their recommendations, if widely accepted within the group, would be seriously considered by these two bodies. The next section of this report describes the group's recommendations for consideration by the Town Council and Planning Commission.

III. STAKEHOLDER GROUP RECOMMENDATIONS

At the fifth and final Stakeholder Group meeting, held on November 7, 2012, Stakeholder Group members had the opportunity to jointly identify statements and proposed futures that most of them could agree to for recommendation to the Planning Commission and Town Council. They had agreed at their second meeting that they would use a threshold for consensus of 8 of 11 voting members indicating support for a statement or proposal. Within any vote of 8 or more, at least two votes would be required within both the "business development" and "residents" groups in order for the group to pass the vote along as representing full group agreement. At this meeting, 10 of 11 voting members were present.[2]

Over the course of the meeting, member discussed a range of topics, and the following are the ones on which the minimum 8/11 people reached agreement. This report indicates the final vote/count for each

[2] John Nosatch was unable to attend the final meeting. He designated Meg Kerr to vote on his behalf. Meg indicated votes on his behalf when she was fairly certain he would support a recommendation (as in Section III.a), but did not vote on John's behalf in final the parcel-based discussion (in Section III.b).

statement so that readers can understand the level of support for different ideas and statements. The group also voted on a number of recommendations that did not reach consensus. To provide additional guidance for the Planning Commission and Town Council to consider, items that were specific parcel based recommendations which a majority of the group (6 or more) were in favor of are also listed in section II.B, with a note that consensus was not reached.

III.a Recommendations on Principles for the Study Area

Members came to agreement on a range of broad principles for any development that occurs in the study area. Many of these could be formalized as design standards and the like. Note especially the high level of consensus and even complete unanimity for many of these items. In this discussion, members voted on two different levels of detail, first a general statement of principle and then a more nuanced indication of what that might mean concretely (indicated as "Details" below).

The list of recommendations here are those items that met the 8 of 11 member threshold for agreement. Those ideas that were discussed and voted on which did not meet that threshold are not included. In this section, "unanimity" means an item received 11 of 11 votes. For simplicity in the tables, the one Healthy Places vote and the conservation interest votes are described as "conservation" votes.

A. Recommendation on Buffers to Protect Plain Road Residents	**Vote**
Statement of Principle: Residents should be well buffered from any commercial or dense development that occurs.	Unanimity
Details: Follow current standards protecting residential areas from light and sound impacts.	Unanimity
Details: A 50 foot vegetated setback should be required, especially along residential/business zone boundaries. The town's existing best practices for landscaping should be followed.	8-3, with 3 developers, 3 residents and 2 conservation members in favor

Additional note: Many indicated a desire for trees and other vegetation to be used to mitigate (buffer) the view of commercial premises from the roadway.

B. Recommendation on Lighting	**Vote**
Statement of Principle: Residents of North Kingstown want to be able to see stars in the night sky.	Unanimity
Details: Support current light standards, work towards dark sky compliance.	Unanimity

C. Recommendation on Signage	**Vote**
Statement of Principle: The character of the study area is important, including the signage people see.	Unanimity
Details: Require that signs be made of wooden or natural materials and be externally lit.	Unanimity

Additional note: There was some discussion about the possibility of exempting seasonal farm signage from current or future sign regulations, but no vote was taken and agreement was not reached.

D. Recommendation on Pedestrian and Bicycle Connectivity	**Vote**
Statement of Principle: People should be able to get around safely by bicycle and on foot between sites, in and around the study area.	Unanimity

Details: Incorporate into the comprehensive plan and make this a condition of approval for developments that they have to design and build portions of the bike path.	Unanimity

E. Recommendation on Building Design	**Vote**
Statement of Principle: The character of the study area is important, including the appearance of the buildings.	Unanimity
Statement of Principle 2: Commercial development in this area should maintain a rural feel and add to the character of the neighborhood.	10-1, with 3 developers, 4 residents and 3 conservation members in favor
Details: Draft or use clear standards for the design of the buildings and the sites through draft language for zoning and Comprehensive Plan requirements.	Unanimity

F. Recommendation on Open Space	**Vote**
Statement of Principle: In order to maintain the rural feel of the study area, it is important to preserve some of its open space for the long term.	10-1, with 4 developers, 3 residents and 3 conservation members in favor
Details: Preserve the golf course.	10-1, with 4 developers, 3 residents and 3 conservation members in favor
Details: Use purchase or transfer of development rights to preserve both the Schartner parcels in the study area and the Morris Farm	10-1, with 4 developers, 4 residents and 2 conservation members in favor

G. Recommendation on Transition Zones (Note: see map of transition zones in appendix.)	**Vote**
Statement of Principle 1 (east side of study area): The area just west of Route 4 along Ten Rod Road (between Route 4 and the entrance to Rolling Greens is an established residential area that transitions to a more rural place. It should be evident that it is not a continuation of the development to the east but something different and should not be allowed to expand into a CVD or other business or higher density residential zones.	Unanimity
Statement of Principle 2 (south portion of the study area): The area just south of the main study area is primarily agricultural and is a transition zone to a more rural place, with the intent to preserve this property as agricultural and agree to the purchase or transfer of development rights.	Unanimity
Statement of Principle 3 (south portion of study area): The area on either side of South County Trail in the vicinity of the Bald Hill Garden Center and Schartner property south is primarily agricultural and is a transition zone to a	8-3, with 3 developers, 2 residents and 3 conservation members

more rural place.	in favor
Statement of Principle 4 (south portion of study area): It should be evident that the area on either side of South County Trail in the vicinity of the Bald Hill Garden Center and Schartner property south is not a continuation of the development to the north and east but something different.	8-3, with 2 developers, 3 residents and 3 conservation members in favor

H. Recommendation on Building Height	**Vote**
Statement of Principle: The study area should maintain a small town, rural feel, and so should not contain buildings taller than two stories.	8-3, with 2 developers, 4 residents and 2 conservation members in favor

III.b Recommendations on Three Study Area Segments

Members also came to agreement on what they recommend for each of the three segments of the study area (southeast corner, southwest corner, and north portion). These agreements reflect a general view that the focus study area parcels would receive zoning for specified levels of commercial or mixed use development but, importantly, parcels immediately to the east and south would be considered "transition parcels" where such development would not be appropriate in the future (see figure on next page). Below are the agreements they reached. Note that some key recommendations are dependent on others.

<u>Schartner Farms property east and west (10 acres in NK and 10 acres in Exeter)</u>

The Town of North Kingstown should work with the Town of Exeter, the State of Rhode Island and other partners to preserve the development rights of the Schartner Farm properties either by the use of purchase of development rights (PDR) or transfer of development rights (TDR) within a limited period of time, with language enabling the land to continue to function effectively in agricultural use. The existing zoning on this parcel should remain as it currently is zoned, as General Business, and the landowners should be allowed to continue to engage in agricultural-related businesses on site.

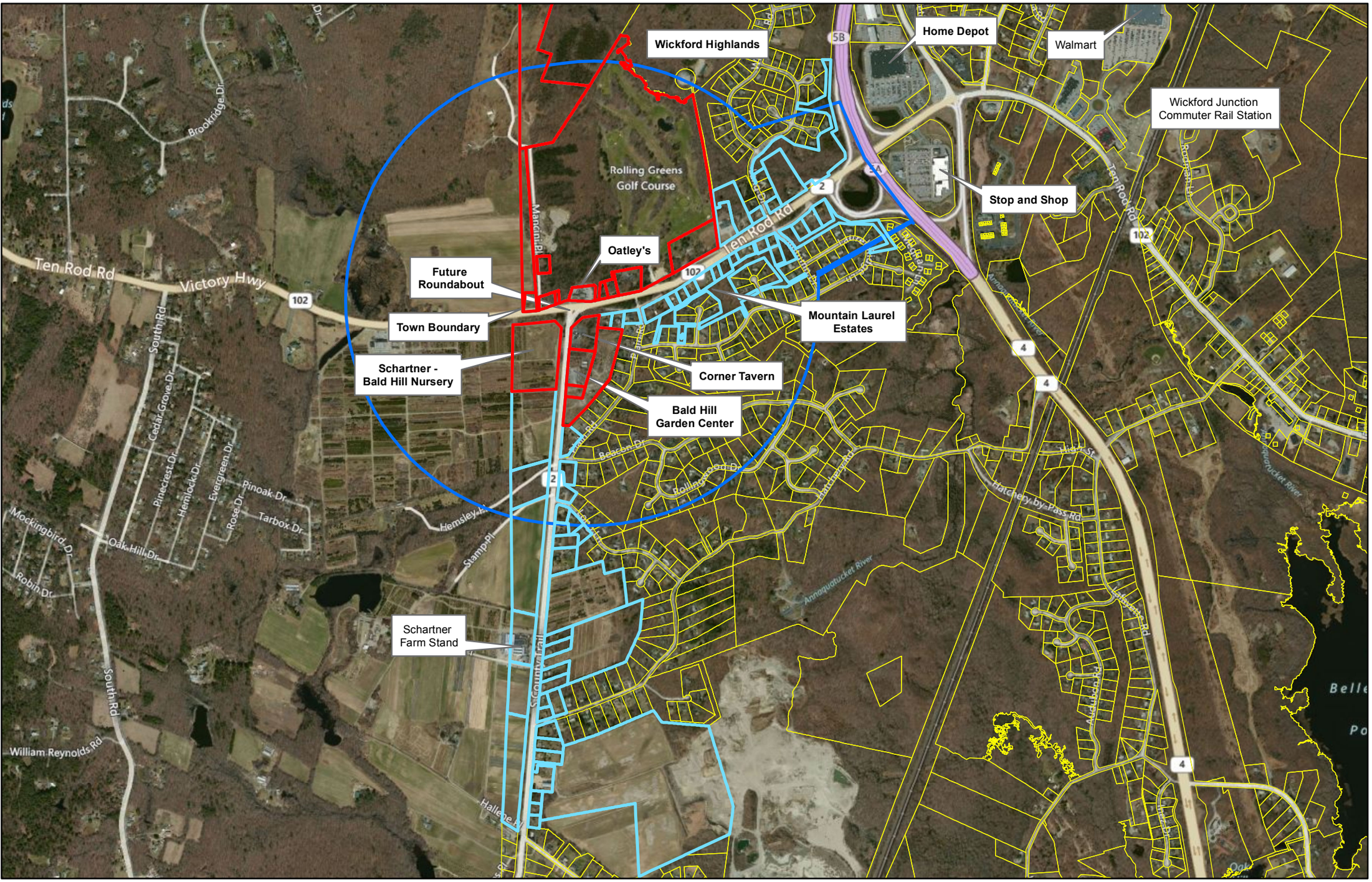
Vote: 9-1, with 4 residents, 2 conservation members, and 3 business members in favor. The Town Planner from Exeter was also present (as a non-voting member) and supported the pursuit of this initiative.

<u>Rolling Greens property (entire property that is within the current application pending before the Planning Commission)</u>

Contingent on the town protecting the Schartner property as noted above, the Rolling Greens development should be allowed to proceed with a limitation of 32,000 square feet of commercial space and 188 residential bedrooms with the design and other parameters as outlined in the Principles section of this report. Buildings or parking lots should be setback 150' or more from Ten Rod Road. The 150' buffer zone should be considered to include vegetation and a bike path.

Vote: 8-2, with 2 residents, 2 conservation member, and 4 business members in favor.

Route 2 and 102 Transition Area



0 750 1,500 3,000 4,500 Feet

Focus Area Parcels

Transition Parcels

Study Area Boundary

This map is for reference purposes only. The Planning Department utilizes this information as a reference tool for review. This map is not intended for use as a site plan.

The Rolling Greens development should be allowed to proceed with 32,000 square feet of commercial space and the existing proposed number of residential bedrooms. Buildings or parking lots should be setback 150' or more from Ten Rod Road. The 150' buffer zone should be considered to include vegetation and a bike path. [Not contingent on the town protecting the Schartner property as noted above.]

Vote: 7-3, with 2 residents, 1 conservation member, and 4 business members in favor. [Note this option did not meet the 8 member in support threshold for consensus. The reason this item did not meet the threshold for consensus is because some Stakeholder Group members considering open space protection in the study area were comfortable supporting this general concept only if the land to the southeast (Schartner parcel) was to be preserved.]

Corner Tavern and Bald Hill Garden Center

Both scenarios for this development included a 50' densely vegetated buffer (this could be somewhat reduced if other measures to mitigate noise and visual impacts were incorporated like berms).

Allow this area to be changed to the proposed CVD Scenario B, which had 20,000 square feet of commercial space plus 20 residential bedrooms for the Bald Hill Garden Center and 6,000 square feet of commercial space for the Corner Tavern.

Vote: 8-2, with 3 residents, 2 conservation member, and 3 business members in favor.

Allow either through purchase or transfer of development rights, buying down the existing commercial development rights to a level that would limit future development to 20,000 square feet of commercial space.

Vote: 8-2, with 2 residents, 2 conservation member, and 4 business members in favor.

III.c Other Issues

There were multiple issues the Stakeholder Group never decided on definitively. Many of these were discussed in great detail at various meetings either by the public or the Stakeholder Group. Please see the reports of these discussions for more detail. Among those topics not yet resolved but important for this study area are:

- Whether or not this area should be included in the Urban Service Boundary.
- Whether or not this area should be designated as a "growth center" as defined by Statewide Planning.
- Whether or not the Town's water service area should be extended to include these parcels.

Participants sought to but did not reach agreement on the following topics:

- Whether or not particular types of commercial should be prevented in the study area, especially national or international chains. Some said this was important for the character of the area, while others noted it could overly constrain or limit landowners' options.

- Whether or not a parameter could be set that required that any businesses in the study area be geared primarily towards the neighborhood rather than seeking to draw additional customers. Some said this would benefit those people in the neighborhood by focusing on their needs and not drawing additional traffic, while others indicated as with the point above that it would overly constrain businesses that would likely need customers from elsewhere to be viable.
- Whether a setback or frontage area should be required in the study area in front (on the side facing the main roadway) of any commercial development beyond the minimum existing requirement. Some felt that this would help maintain a rural character while others suggested it could hinder the visibility of businesses depending on setback distances.

APPENDIX A:

Memorandum to Town Manager Recommending Stakeholder Group Agreement. November 15, 2012.

Town of North Kingstown, Rhode Island

80 Boston Neck Road
North Kingstown, RI 02852-5762
Phone: (401) 294-3331
Fax: (401) 885-7373
Web: www.northkingstown.org

TO: Michael Embury, Town Manager

FROM: Jonathan J. Reiner, Director of Planning

DATE: November 15, 2012

RE: Recommendations to implement the Route 2/102 recommendations

cc: Planning Commission
Jeannette Alyward, Town Clerk
2/102 Stakeholder Group

Attached please find the proposed changes to the North Kingstown Comprehensive Plan as well as the Zoning Ordinance and Zoning Map amendments to implement the recommendations of the 2/102 Stakeholder Group for the western Route 2/102 intersection. These items are advertised for a joint public hearing before the Planning Commission and Town Council for November 29, 2012. Please see that attached advertisements that are appearing in the Standards Times for these items.

The process to work towards a unified vision for this intersection has taken a considerable amount of time and effort by many parties. A full report of the process and the recommendations as well as the materials reviewed and meeting summaries can be reviewed in the Stakeholder Group report which is being submitted to you for distribution to the Town Council under separate cover.

The changes to the Comprehensive Plan are primarily to establish a new designation for the town's Future Land Use Map called "Rural Gateway". The primary purposes of this Rural Gateway area include limiting the geographic extent of the proposed Compact Village District Area for this intersection to the parcels identified by the Stakeholder Group, and to allow for the mix and intensity of uses that were recommended by the Group. There are also some minor text amendments proposed to section of the Comprehensive Plan for future implemention of these policies. The Town is also proposing changes to the Water Service Area (WSA) to include these same parcels of land at the western 2/102 intersection and to remove land currently in the WSA elsewhere. In addition, the changes to the WSA would implement recommendations of the Water and Planning Departments to reduce the total land area of the WSA to encourage and direct infrastructure investment to areas where the Town envisions growth in the future, and would reduce the WSA in areas that are primarily zoned lower density residential. This would have the added benefit of reducing future water use from *new* residential development, and having available infrastructure for the areas where the town has directed growth to in our

Comprehensive Plan and Zoning Ordinance. These changes to the WSA were NOT part of the 2/102 Stakeholder Group recommendation. This was one of the items that they were unable to fully address in the time period allotted.

The changes to the Zoning Ordinance proposed would change the zoning on the Corner Tavern and Bald Hill Garden Center parcels from General Business to the Compact Village Development (CVD) designation.

In addition to these proposed changes from the 2/102 process, there are also proposed changes to the Comprehensive Plan and Zoning Ordinance for the application for Rolling Greens to change that area to a CVD development. The Planning Commission gave a positive recommendation on the Comprehensive Plan and Zoning Ordinance amendments for the changes for the Rolling Greens parcel at their meeting of November 14, 2012 with conditions, but that information is not being forward to the Town Council at this time because the Planning Commission also needs to vote on the Master Plan prior to sending the complete recommendation package to the Town Council per state and local law. The Planning Commission is scheduled to meet on November 20, 2012 to discuss and vote on the Master Plan for Rolling Greens. After that meeting, recommendations for both the Comprehensive Plan and Zoning Ordinance will be forwarded to the Town Council.

The recommendations from the Planning Commission for the implementation items of the 2/102 process that are attached to this memo will occur at the joint public hearings to be held on November 29, 2012 with both the Planning Commission and the Town Council. These same items are also scheduled to be informally discussed at the November 20, 2012 Planning Commission meeting.

If you should have any questions or require additional information, please feel free to contact me at jreiner@northkingstown.org or 268-1570.

Attachment 1 – Recommended changes to the Comprehensive Plan and Zoning Ordinance
Attachment 2 – Advertisement for changes to the Comprehensive Plan
Attachment 3 – Advertised changes to the Zoning Ordinance

AMENDMENTS TO THE COMPREHENSIVE PLAN

LAND USE ELEMENT

E. LAND USE DESCRIPTIONS

Add the following language under "Other Designations"

Rural Gateway

This area includes parcels surrounding the intersection of Routes 2 and 102 due west of Route 4 as shown on the Future Land Use Map. The land use goal of this area is to allow for a mix of planned commercial, residential, and agricultural uses that effectively transition from the more intense retail/transit oriented development east of Route 4 to the rural landscapes north, south and west of the intersection. In order to protect the underlying aquifer, adjacent residential neighborhoods, and overall rural character, tools and techniques appropriate to this area may include Compact Village Development, Transfer of Development Rights, Conservation Development, purchase of development rights, special provisions for agricultural operations, and the application of strict design standards. The boundaries of this district were carefully selected, and expanding these boundaries to convert residential land use designations to commercial shall be considered contrary to the purposes of this designation.

GOAL LU.1 MAINTAIN THE CHARACTER OF NORTH KINGSTOWN WHILE PRESERVING AND ENHANCING ITS SCENIC BEAUTY, NATURAL RESOURCES AND CULTURAL HERITAGE.

Objective LU.1.2 Encourage development and redevelopment in existing and proposed villages based upon the concept of the traditional compact New England village and work to ensure full accessibility of the village for its occupants and visitors.

Action LU.1.2.2 Consider appropriate locations to apply the ~~Village District Ordinance~~ Compact Village Development Ordinance (CVD) such as the ~~targeted Growth Centers~~ Rural Gateway and the Allenton, Hamilton, and Lafayette study areas identified in the *Transfer of Development Rights and Identification of Village Centers* project.

Objective LU.1.6 Encourage opportunities for commercial, office, and industrial land uses to increase local employment and tax income to the Town, while protecting the environment.

Action LU.1.6.1 Establish new mixed use center considering the following:

- Targeted Growth Centers on Post Road
- Implementation of the Village Center Zoning
- TOD at Wickford Junction
- Implementation of Compact Village Development ("CVD") as appropriate

CONDITIONS OF APPROVAL FOR CVD ZONING DESIGNATION IN THE RURAL GATEWAY

1. Buffering between parcels zoned "CVD" and existing residential development shall be designed to ensure compliance with existing standards for screening and noise protection. Additionally, parcels 102/6 and 102/7 shall develop and maintain a 50-foot wide vegetated buffer along the property edges that abut residential neighborhoods existing at the time the CVD ordinance was first adopted.

   The provision above addresses the neighborhood concerns about buffering the Plain Road residences from future development of the Bald Hill and Corner Tavern parcels.

2. The extent of commercial development allowed on parcels 110/2; 110/3; 110/4; 110/5; 110/6; 110/7; 110/9; 110/10; 110/11; 126/5 shall be limited to 32,000 square feet.
3. The extent of residential development allowed on parcels 110/2; 110/3; 110/4; 110/5; 110/6; 110/7; 110/9; 110/10; 110/11; 126/5 shall be limited to 188 bedrooms.

   Provisions 2 and 3 above address development limitations for those properties included in the Rolling Greens application.

4. The extent of commercial development allowed on parcel 102/7 shall be limited to 6,000 square feet.
5. The extent of commercial development allowed on parcels 102/6; 102/8; and 102/25 shall be limited to 20,000 square feet.
6. The extent of residential development allowed on parcels 102/6; 102/8; and 102/25 shall be limited to 20 bedrooms.

   Provisions 4 through 6 above deal with limitations on the Corner Tavern and Bald Hill Nursery parcels.

7. As part of any restrictions imposed on parcels 102/6; 102/7; 102/8; and 102/25 that would limit their development potential beneath what is already established pursuant to the nitrogen loading limitations in place, the Town of North Kingstown shall pursue the purchase of those development rights that may have been removed through these new limitations.

   Provision number 7 above reflects discussion among the Stakeholder Group that development rights can be purchased as part of any down-zoning that would occur on the Corner Tavern and Bald Hill Nursery parcels. The Town can consider whether this approach is desirable and what the funding mechanisms might be for purchasing a portion of the development rights that exist today. Provisions 4 through 6 can be adopted with or without this condition.

8. Height of buildings within the Rural Gateway CVD shall be limited to two stories or 25 feet.

   The Stakeholder Group approved this almost unanimously.

9. Attached or detached signage within the Rural Gateway CVD shall be constructed of wood, stone or other natural material. Lighting for signage shall be indirect and downward facing.

The Stakeholder Group approved this almost unanimously. Consistent with the Stakeholder Group's guiding principles, downward facing indirect lighting will help to maintain character and protect visibility of the night sky.

10. Pursuant to Section 21-95.g.3.d, design for bicycle circulation shall be consistent with the goal of providing safe, well-designed passage due west, east and south of the project area.
11. The Town herein acknowledges that the geographic extent of the CVD designation was vetted through an intensive public and stakeholder group discussion. Accordingly, the provisions under 21-95.b.4 shall be strictly enforced. Additionally, VR-20 parcels adjacent to the CVD shall not be eligible for annexation to the CVD.

If the study area parcels are rezoned to mixed use, a major concern was the idea that the district might "creep" east, west or south and subsequently damage the "rural village center" concept that was important to many members of the group and the public. Provision 11 above addresses this by specifically removing the VR-20 from eligibility for annexation to a CVD.

NOTICE OF PUBLIC HEARING
NORTH KINGSTOWN TOWN COUNCIL

November 29, 2012

PROPOSED AMENDMENTS TO THE ZONING ORDINANCE AND MAP

A public hearing will be held before the North Kingstown Town Council for all interested persons at the Beachwood Senior Center, 44 Beach Street, North Kingstown, RI on Thursday, November 29, 2012 at 7:00 PM, for the purpose of considering the proposed amendments to the zoning ordinance and zoning map.

The proposed amendments are requesting to amend the zoning ordinance and map so as to change the land use classifications of the below described properties to Compact Village Development (CVD):

PARCELS	CURRENT ZONING CLASSIFICATION
AP 102 Lot 8	GB/GW1
AP 102 Lot 25	GB/GW2
AP 102 Lot 6	GB/GW1
AP 102 Lot 7	GB/GW1

Copies of the proposed amendment may be examined at the Department of Planning and Development in the Town Hall Annex, 55 Brown Street Monday through Friday, 8:30 AM to 3:30 PM. Copies of the proposed amendment may also be examined at the Town Clerks Office in the North Kingstown Town Hall, 80 Boston Neck Road, Monday through Friday, 8:30 AM to 4:30 PM.
Proposed amendments may be altered or amended prior to the close of the public hearing without further advertising, as a result of further study, or because of the views expressed at the public hearing. Any such alteration or amendment must be presented for comment in the course of any said public hearing.

The town will provide interpreters for the hearing impaired provided three (3) days notice is provided by calling 401-294-3331 ext. 120.

Jeannette Alyward
Town Clerk

NOTICE OF PUBLIC HEARINGS
NORTH KINGSTOWN PLANNING COMMISSION AND TOWN COUNCIL

November 29, 2012

TO CONSIDER AN AMENDMENT TO THE NORTH KINGSTOWN COMPREHENSIVE PLAN

Two public hearings will be held, one before the North Kingstown Planning Commission and the other public hearing will be held before the North Kingstown Town Council for all interested persons in the **Beachwood Senior Center, 44 Beach Street, North Kingstown, RI 02852**, on **Thursday, November 29, 2012 at 7:00 PM**, for the purpose of considering amendments to the North Kingstown Comprehensive Plan text, Future Land Use Map, and Water Service Area map. The Planning Commission will hold a public hearing, and after the close of that hearing the Town Council will hold a public hearing to consider the same Comprehensive Plan amendments.

1. Water Service Area Map Amendment

The amendments will change the North Kingstown Water Service Area map to include areas in town that are currently targeted for future growth and development such as Hamilton, Allenton, Lafayette, Wickford, Post Road, Wickford Junction, and the western intersection of Route 2 and 102 in the vicinity of the Corner Tavern and Rolling Greens. This also includes the existing commercially zoned area of Quaker Lane from the 2/102 intersection to the North Kingstown/East Greenwich Town boundary, and the Light Industrial area in the vicinity of Dry Bridge Road. All other areas in town not listed above will be removed from the Water Service Area Map.

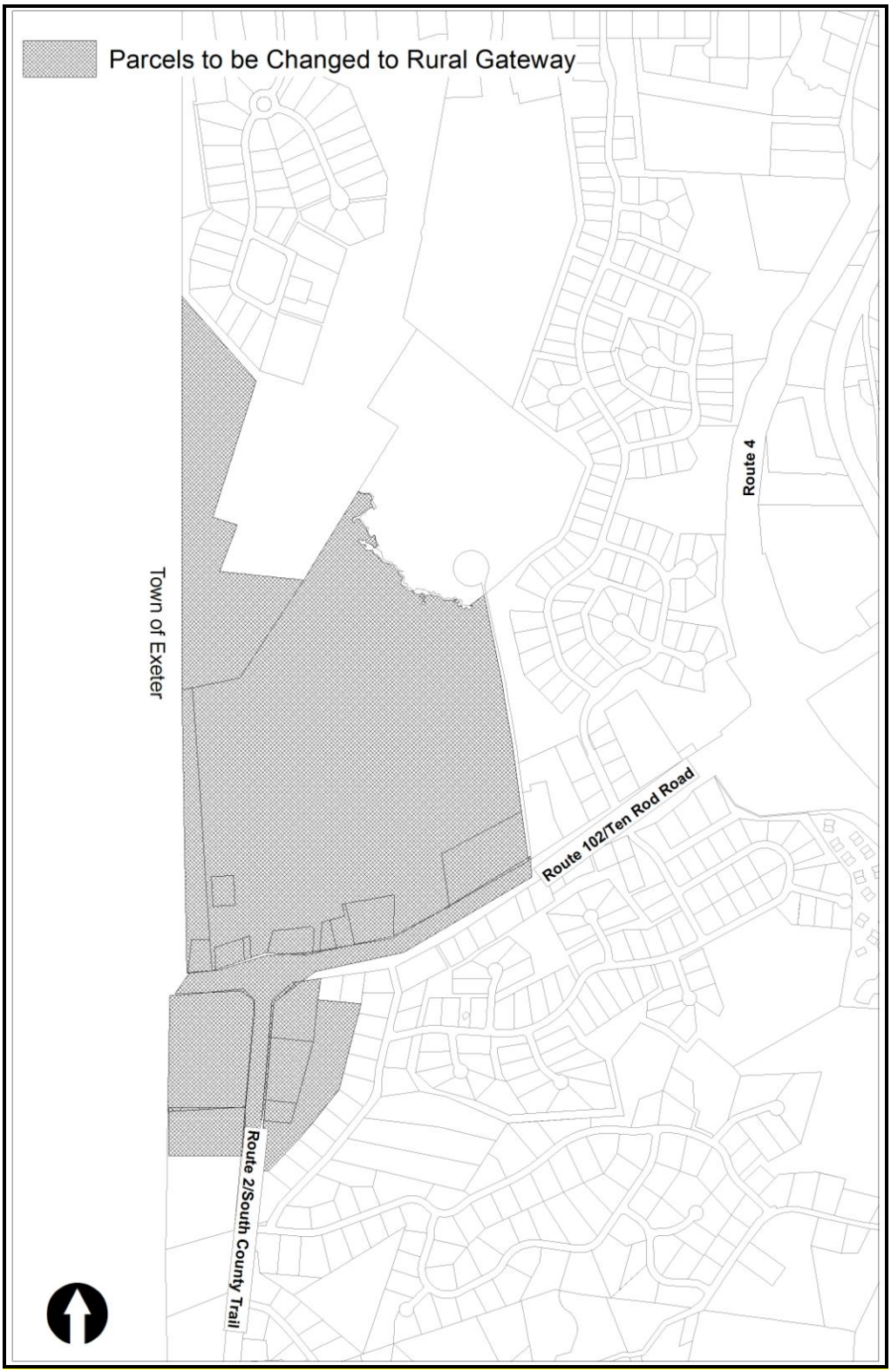
2. Future Land Use Map Amendment and Text Amendments

The amendments will incorporate changes to the North Kingstown Comprehensive Plan text to provide a description of a Rural Gateway and include language for implementation and use of such designation for the properties surrounding the western Route 2/102 intersection.

The amendments would change the North Kingstown Comprehensive Plan land use map and text to change the land use classification of the following:

PARCELS	CURRENT LAND USE MAP DESIGNATION	PROPOSED FUTURE LAND USE MAP DESIGNATION
AP 110 Lot 2	C	Rural Gateway (RG)
AP 110 Lot 3	C	Rural Gateway (RG)
AP 110 Lot 4	MDR	Rural Gateway (RG)
AP 110 Lot 5	MDR	Rural Gateway (RG)
AP 110 Lot 6	LDR or MDR	Rural Gateway (RG)
AP 110 Lot 7	MDR	Rural Gateway (RG)
AP 110 Lot 9	MDR	Rural Gateway (RG)
AP 110 Lot 10	C	Rural Gateway (RG)
AP 110 Lot 11	MDR or C	Rural Gateway (RG)
AP 126 Lot 5	LDR or MDR	Rural Gateway (RG)
AP 102 Lot 11	C	Rural Gateway (RG)

AP 102 Lot 133	MDR or C	Rural Gateway (RG)
AP 102 Lot 8	MDR	Rural Gateway (RG)
AP 102 Lot 25	MDR	Rural Gateway (RG)
AP 102 Lot 6	MDR	Rural Gateway (RG)
AP 102 Lot 7	MDR	Rural Gateway (RG)



Copies of the proposed amendments may be examined at the Department of Planning and Development in the Town Hall Annex, 55 Brown Street, Monday through Friday 8:30 AM to 3:30 PM. Copies of the

proposed amendment may also be examined at the Town Clerks Office in the North Kingstown Town Hall, 80 Boston Neck Road, Monday through Friday, 8:30 AM to 4:30 PM.

Proposed amendments may be altered or amended prior to the close of the public hearings without further advertising, as a result of further study, or because of the views expressed at the public hearings. Any such alteration or amendment must be presented for comment in the course of any said public hearings.

The town will provide interpreters for the hearing impaired provided three (3) days notice is provided by calling 401-294-3331 ext. 120.

Jeannette Alyward
Town Clerk

Display Ad (DO NOT RUN AS LEGAL AD). State law requires normal size type. Display ad to appear in the November 15, 22, and 29, 2012 issues of the Standard Times.

TO BE PAID BY THE TOWN OF NK

Route 4
Route 102/Ten Rod Road
Route 2/South County Trail
Town of Exeter
Parcels to be Changed to Rural Gateway

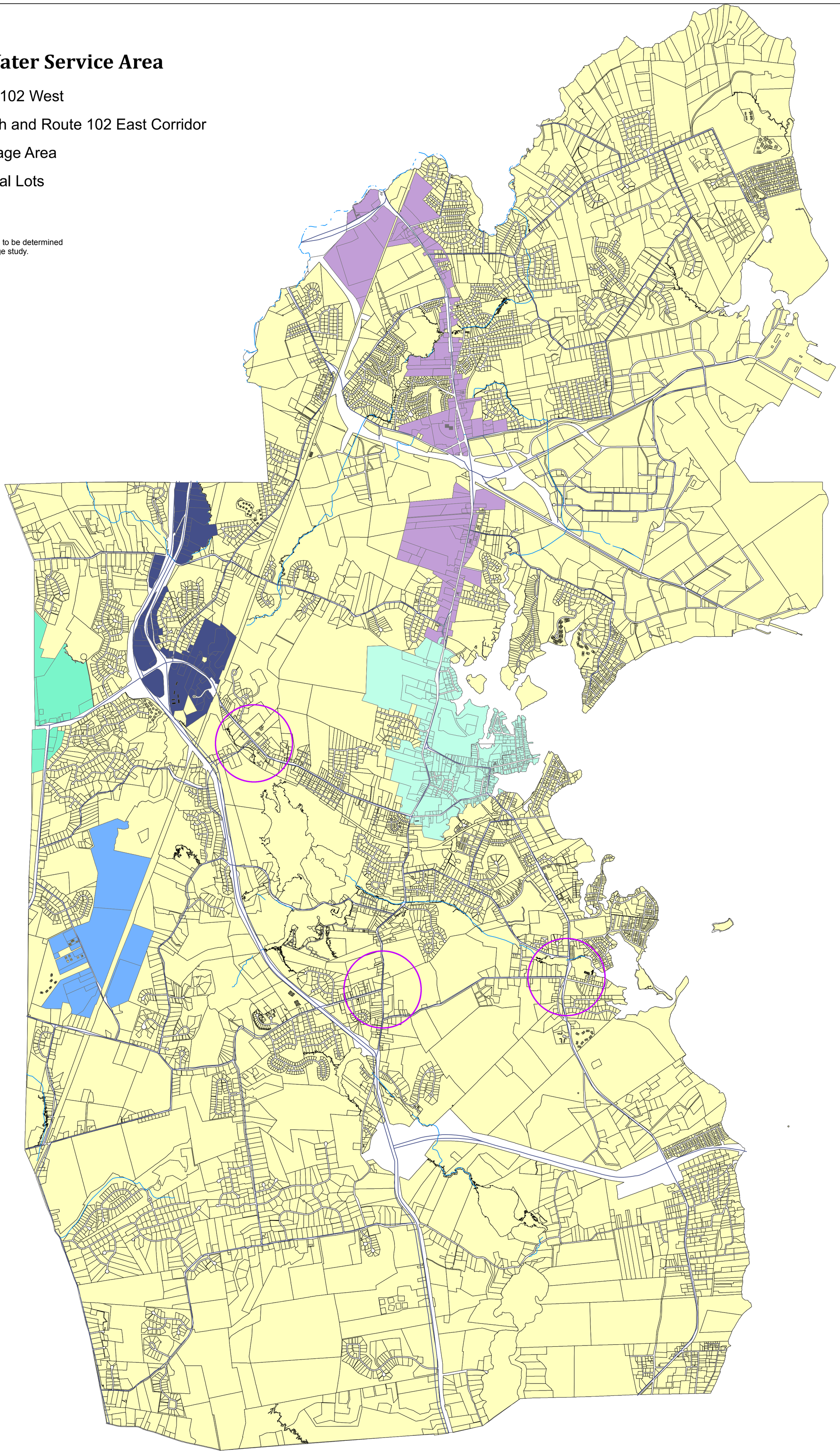
Parcels to be Changed to Compact Village District (CVD)
Route 102/Ten Rod Road
Route 2/South County Trail
Town of Exeter

Proposed Water Service Area Revision

Proposed Water Service Area

- Route 2 and 102 West
- Route 2 North and Route 102 East Corridor
- Wickford Village Area
- Light Industrial Lots
- Post Road

Proposed boundaries to be determined by results of the village study.



0 0.375 0.75 1.5 2.25 3 Miles

This map is for reference purposes only. The Planning Department utilizes this information as a reference tool for review. This map is not intended for use as a site plan.

NORTH KINGSTOWN
INCORPORATED 1674

APPENDIX B:

Stakeholder Group Meeting Agendas and Summaries.

Route 2 and 102 Stakeholder Visioning Process
Regular Meeting Notice

Stakeholder Group Meeting 1 Agenda
Thursday August 23, 2012
5:30 P.M.

Beechwood Senior Center
44 Beach Street

North Kingstown Town Hall
80 Boston Neck Road
North Kingstown, RI 02852
401-294-3331

Stakeholder Group

Members
Michael Baker
Ahren Cohen
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Richard Schartner, Sr.
Jeff Zucchi

Non-voting members
Frank DiGregorio
Paul Dion
Martha Pughe
Jonathan Reiner
David Schweid

AGENDA

5:30 Welcome and Introductions

- Review meeting agenda, goals, lead introductions – Ona Ferguson, CBI

5:45 Purpose of this Process

- Provide overview of purpose for this visioning effort – Jon Reiner, NK Planning

5:55 Process Overview

- Facilitator and stakeholder group discuss how the group will function, focusing on operating procedures and decision rule.

6:20 Key Issues for Future Discussion

- Stakeholders share their key hopes and generate list of topics to discuss during this process.

7:20 The Context: Overview of the Current Situation

- Presentation on key context for this project, including comprehensive planning, existing zoning, and other topics – Nate Kelly, Horsley Witten
- Discuss additional mapping or other information needed for next meeting.

8:00 Visioning Process Geographic Scope

- Discuss criteria for choosing the geographic boundaries.
- Discuss the proposed geographic scope of the study area & reach agreement.

8:15 Wrap Up / Stakeholder Group Business

- Participants discuss meeting dates, site visit, meeting venue, general feedback
- Clarify next steps – Ona Ferguson

8:25 Public Comment

8:30 Adjourn

Documentation (if any) for items listed on this Agenda is available for public inspection, a minimum of 24 hours prior to the Board meeting, at any time during regular business house at the Department of Planning, 55 Brown Street, North Kingstown, RI 02852. The Town of North Kingstown will provide interpreters for the hearing impaired given three days notice in advance. 294-3331, Ext 120. Pursuant to RIGL 42-46-6(c) notice of this meeting has been posted on the Secretary of State's website.

North Kingstown Route 2 and 102 Stakeholder Visioning Process
Meeting 1
August 23, 2012 5:30-8:45pm
Beechwood Senior Center, 44 Beach Street North Kingstown, RI

Meeting Summary

Next Meeting: The next meeting is scheduled for September 6, 2012, from 6:00-9:00pm.
Meeting Participants: See Appendix A.
Next Steps:

- Project Team – Confirm member email addresses to be made public (by Sept 6)
- Project Team – Plan site visit (by Sept 6)
- Project Team – Revise Operating Procedures (by Sept 6)
- Project Team – Make maps to prepare for Meeting 2 discussion
- Project Team – Post link to Rhode Island Land Use 2025 Plan
- Members – Identify & let Project Team know if you will have an alternate (by Sept 6)

Welcome and Introductions

Ona Ferguson, facilitator from the Consensus Building Institute welcomed everyone to the meeting and gave an overview of the agenda. The goal of the meeting was to provide an opportunity for everyone to meet each other, to determine how the group was going to work together, to identify topics and issues that need to be addressed at future meetings, to review the current context, and to set a geographical boundary for the study area.

Stakeholder Group members introduced themselves, giving their affiliation and describing a quality they bring to the process. All materials from this meeting, including presentations, can be found within 10 days of the meeting at http://www.northkingstown.org/visioning-process-routes-2-and-102.

Purpose of this Visioning Process

Jon Reiner, the Director of the North Kingstown (NK) Planning Department and non-voting member of the Stakeholder Group, described the need for this group. The North Kingstown Town Council convened this group and allocated funds to support this process to generate a community vision for the western intersection of Routes 2 and 102. The NK Comprehensive Plan must be in compliance with the Rhode Island Land Use 2025 State Guide Plan Element and that requires that a plan and vision for this intersection be developed. The group is expected to meet regularly to explore interests, increase understanding, highlight and refine options and seek agreement, if possible, on what should happen in the area by the western Rt. 2/102 intersection. If this group reaches consensus or broad-based support for a recommendation, the Town Council and the Planning Commission will take that under serious consideration. Ona noted that there are a lot of strong opinions, feelings and interests at the table and in the community about what happens at this intersection, and that many have indicated hope in this group bringing some clarity of what to expect in the future that will benefit everyone.

Process Overview

Group Agreement Reached:

- Members will permit the team to share contact info (email and address) publicly.
- Members approved the Operating Procedures except for the Decision Rule (to be discussed further at Meeting 2), with changes as noted below re: alternates.

Members discussed how the Group will function (see more details in the draft Operating Procedures).

Overall Approach & Outcomes - Ona will be managing the process and facilitating meetings. The overall purpose of the process is to develop a shared concept for what should happen in the Rt. 2/102 area that most everyone can accept. The process for getting to that point will be to identify general issues, then discuss the varied interests and hopes and brainstorming ways to meet these interests, then to create a unified vision by combines these interests and brainstormed solutions into one comprehensive package or approach. There will be summaries of each Stakeholder Group meeting, focusing on agreements reached and the range of discussion points for various topics. The overall outcome/vision the group develops to will be synthesized in one report, including appropriate maps or technical language. The outcomes of the group depend on how the group works together and its ability to work through numerous topics to productive decisions. Possible outcomes range from no agreement to partial agreement to an overwhelming agreement.

Meeting Plan – The intent is to have three Stakeholder Group meetings (this one plus two in September), then two Public Workshops with a way to contribute online (which Stakeholder Group members will help design and attend), a focus group with residential neighbors, and then two to three more Stakeholder Group meetings after the Public Workshops.

Operating Procedures: Participants discussed and made some adjustments to the draft Operating Procedures. This list synthesizes key points and decisions made.

- Stakeholder Group meetings – Meetings will be open to the public. They will be summarized, and summaries will be posted on the project website. Members should strive to attend all meetings and scheduled events, and work to catch up after any meeting they miss.
- Alternates - Members discussed the role of alternates and decided there will be a minimum of one alternate for each of the two major stakeholder groups (rural/residential and business/development). Each group will choose their alternate. Alternates will be included in all member communication, will receive the introduction packet of materials, and are expected to attend all meetings to be fully up to speed should they need to sit at the table in place of a member.
- Communication - Members agree that email is the best form of communication for this process. They were asked to abide by the operating procedures / groundrules between meetings as well as at meetings, and to speak only for themselves, not for other people or for the Group as a whole.
- Decision Rule – Members discussed the threshold for reaching agreement in this process. They agreed that the goal is to seek overwhelming agreement across many perspectives so that any outcome is widely supported by the Stakeholder Group, while not setting the prohibitive threshold of unanimity. Participants did not reach final agreement on this topic, and it will be

taken up again at the next meeting. Participants discussed pros and cons of several decision thresholds, including

- Counts suggested
  - 7 out of 11 voting members agreeing indicates Group agreement
  - 8 out of 11 voting members agreeing indicates Group agreement (seven of nine voting members present at this meeting could live with this, the highest of the three options tested)
  - Capturing the final count for and against, whatever it may be ("taking the temperature of the group") and reporting that number (possibly with language such as "majority favor, super majority, recommend, strongly recommend, overwhelming agreement, unanimity" tagged to different levels)
- With additional possible caveats to a strict numerical vote of:
  - At least one (or at least two) participant(s) from each of the two major groups must support it. This would mean any agreement would have to be acceptable to at least a portion of each of the two 4-person interest groups.
  - A minimum of 6 participants must agree (6 is a majority of 11 voting members)
- Discussions of options and criteria:
  - People don't want the group to get stuck with too high a threshold for agreement. Some suggested aiming for between 60%-73% (75% requires 9)
  - People should have to convince others that an issue causing them to vote against something is important enough for others to vote with them to prevent agreement.
  - Abstention (step out of the vote if it isn't a key interest for you) should count as dissenting and included in the count.
- Other discussion:
  - The final report will give the final count for and against an agreement and list the names of members who supported, abstained, or did not support the final agreement.
  - People decided that absent members not represented by an alternate may sign on to an agreement after the fact *but that this cannot change the outcome*. Given that everyone may have an alternate, the preference is for people to always have someone present to represent them.

Key Issues for Future Stakeholder Group Discussion

Members were asked to indicate what they hope to see as a result of this process and what topics the Group needs to work through. Their ideas are compiled and synthesized here.

<u>Hopes for the Process</u>

- That the residents get to weigh in on several options and get to voice their thoughts fairly
- That participants start with an open mind and clean slate
- That it respects the landowners
- That the interests of all participants are surfaced jointly
- That residents and business representatives work together productively
- That it becomes a model process for other sites in town
- That the excellent members and support team are creative and get to solutions

Issues / Topics the Group Wants to Work Through

- Community Goals - Goals that are shared by and distinct for NK and Exeter
- Interests of all participants – what do different people see as a vision for the area? Why do members hope for particular (and differing) levels of development?
- Water – quantity / how to protect water resources, quality
- Planning Tools - What innovative tools (ordinances, etc) can we use to advance joint goals?
- Development pressure – What is the reality and what does this mean (i.e. WJ station impacts)?
- Traffic Concerns
- Past History – full context and background
- Impacts on the full town, impacts to Exeter
- Development proposals – what is proposed and what might be acceptable / beneficial to residents?
- New ideas for designing intersections (see Grow Smart Rhode Island)
- Connectivity – Pedestrian and bike-friendly design, safety
- The Character of the area – how to add to it, how to leave a strong legacy in this place
- How to regulate growth to benefit everyone with clarified expectations, streamlined processes, appropriate protections
- Issues raised by Statewide Planning in denial of the NK Comprehensive Plan
- What is a growth center in this context?
- Transitional vision – how can the transitional space from big box to rural benefit residents and businesses? Look at north/south and east/west transitions
- Urban Services Boundary – how does it work, what does it mean?

Hopes for the Outcome

- It is acceptable for all the Stakeholder Group members
- It is sensitive and appropriate for NK & Exeter's existing agricultural and rural character
- It considers impacts on all of NK and is beneficial to the town as a whole
- It makes sensible growth possible
- It adds to the character of the place, rather than detracting from it, it doesn't have any significant negative impacts
- It describes development that neighbors find acceptable in scale and scope
- It protects water resources
- It enables for development while maintaining the character of the town
- It becomes a model for what future growth might look like in other parts of NK
- It is evidence based, numbers are used to support decisions as much as possible
- It will benefit many and meet the needs of many
- The NK Town Council respects any consensus / package proposal developed by the Stakeholder Group and understands that support for one piece may be contingent on another piece.
- It fits with current regulations and state guidelines
- It does not harm the natural environment, it is environmentally sound
- It does not include sprawl
- It is economically viable for landowners
- It streamlines the process for businesses to get approval, reducing the need for problem solving through litigation
- It gets incorporated into the current Comprehensive Plan and the 2013 Plan re-write

The Context: Overview of the Current Situation

Nate Kelley, from Horsley Witten Group, described the current context of the area. He explained the planning regulation at the State level and local level. He explained the role that Statewide Planning, Rhode Island Department of Transportation, Rhode Island Department of Environmental Management, and Rhode Island Housing play at the State level. On the local level, he described the role Department of Planning, the North Kingstown Planning Commission, the Water Department, the Town Council, other boards and commissions play in the process. He described the current regulations on the area. He explained the tools and options available to developers, such as the TDR sending and receiving areas and the compact village development ordinance. Statewide Planning has both recently rejected a petition for an up-zoning of the Rit Schartner parcel and requested a vision be developed for the area. Nate's presentation, available on the website, has more detail and is designed to be read with links to key information.

Visioning Process Geographic Scope

At the request of Peter Flinker, of Dodson and Associates (part of the project's technical team), members discussed what the core geographic area for the visioning process should be and also what broader area that will be impacted should be considered. People talked about the parcels right at the intersection with an interest in commercial use, the role of and connection to Exeter, existing conditions and the market. They then suggested several different ways to consider the two areas, as follows. People have not yet reached agreement on this, and this list captures the various suggestions people had, some of which are contradictory. The project team will come to the next meeting with maps responding to these ideas and proposing geographic scope for the group to make a final decision on.

Suggestions for The Study Area/Core Area to Consider for Change (to seek agreement on in this process)

- The parcels that are currently zoned commercial at the intersection including the Corner Tavern, the Bald Hill Garden Center, Oatley's restaurant, and the Schartner Bald Hill Nursery.
- The parcels that are currently zoned commercial at the intersection including the Corner Tavern, the Bald Hill Garden Center, Oatley's restaurant, the Schartner Bald Hill Nursery, and to include the Rolling Greens application area.
- Focus on the areas the Town Council most wants the group's input on.
- All parcels abutting the intersection until you hit residential parcels
- A half-mile radius from the intersection in all directions: either including Exeter or stopping at the NK/Exeter boundary, in a circle or in a square
- Include Morris Farm (200' in NK, rest in Exeter)
- The road all the way to Rt. 4
- Residential areas also / no residential area

Suggestions for the Area Likely to be Impacted By A Vision (to be aware of in this process)

- A half-mile radius from the intersection in each direction
- All of North Kingstown including: the abutting residential areas, the area to Rt 4, Post Road, TDR sending areas
- Exeter, including its proposed village areas

Other

Participants discussed the desire by the members from Exeter that the Stakeholder Group fully consider the impact of this decision and possibly make decisions that stretch into Exeter. Exeter members indicated that Exeter has a strong preference to maintain a rural character. While the intersection has an impact on Exeter, several people said this process is designed to address an area within the NK border and to include Exeter's interests (as desired by Statewide Planning and by others) by providing several seats at the table while keeping the decision making to North Kingstown representatives. NK does not have authority over Exeter's land use patterns, and cannot make Exeter change their zoning or land use designations.

Members representing the rural/residential perspective expressed serious concern about a perceived conflict of interests about past actions of one of the four members of their interest group, as designated by the Town Council. The facilitator said that the Town Council's decision on Stakeholder Group membership is final and cannot be changed at this time.

Public Comment

Members of the public were invited to share their thoughts. Jim Ganung, resident of Wickford Highlands, asked the group to use as much data and information as possible as part of the visioning process. Matt Richardson, resident, said that what ever happens in North Kingstown will impact Exeter, that what happens at the intersection could draw visitors or drive them away, and that agriculture is an important business interest. Jim Grundy, a Planning Commission member, reminded the participants that they are an advisory, not decision-making, group and said he hopes they will be independent thinkers.

Stakeholder Group Business

The group discussed meeting times, and 6:00 to 9:00 works best. The next two Stakeholder Group meetings are scheduled for Thursday, September 6th and Monday the September 24. There will be a site visit or two between now and the September 6 meeting. The meeting adjourned at 8:47pm.

APPENDIX A: Meeting Participants

Stakeholder Group Members & Alternates Present
Alternates are noted with an asterix
Michael Baker
Ahren Cohen
Frank Digregorio
Paul Dion
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
Jonathan Reiner
Richard Schartner, Sr.
David Schweid
Jeff Zucchi

(Members absent:
John Patterson, Martha Pughe)

Project Team & NK Planning Dept. Staff
Nicole Bourassa
Ona Ferguson
Peter Flinker
Nate Kelly
Becky Lamond
Jonathan Reiner
Jared Weaver

Also In Attendance
Jerry Duffy
Jim Ganung
Kevin Harris
Mr. Edward Mancini
Mrs. Edward Mancini
Curt Matteson
Chip Palmer
Skip Ponte
David Samson
Marilyn Shellman
Rick Thompson

North Kingstown Route 2 and 102 Stakeholder Visioning Process
Regular Meeting Notice

Stakeholder Group Meeting 2 Agenda
Thursday September 6, 2012
6:00 P.M.

Beechwood Senior Center
44 Beach Street

North Kingstown Town Hall
80 Boston Neck Road
North Kingstown, RI 02852
401-294-3331

Stakeholder Group

Members
Michael Baker
Ahren Cohen
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Richard Schartner, Sr.
Jeff Zucchi

Alternates
Tom Kolling

Non-voting members
Frank DiGregorio
Paul Dion
Martha Pugh
Jonathan Reiner
David Schweid

AGENDA

6:00 Welcome and Introductions
- Review meeting agenda & goals, lead introductions – Ona Ferguson, CBI

6:10 Finalize Operating Procedures and Geographic Scope
- Discuss and decide on decision rule, operating procedures, geographic scope

6:30 Site Constraints and Physical Suitability
- Review maps of site constraints – Peter Flinker, Dodson Associates
- Discuss suitability, any additional information needed

7:15 Current Buildout Capacity
- Presentation of current site buildout capacity – Peter Flinker
- Discuss buildout capacity

7:50 Interests on Key Topics
- Discuss key interests related to topics such as water, character, community goals

8:20 What Would We Like to See in this Area?
- Discuss the opportunities for this area overall

8:45 Public Comment

8:55 Wrap Up / Stakeholder Group Business
- Participants discuss meeting dates, general business
- Clarify next steps

9:00 Adjourn

Documentation (if any) for items listed on this Agenda is available for public inspection, a minimum of 24 hours prior to the Board meeting, at any time during regular business house at the Department of Planning, 55 Brown Street, North Kingstown, RI 02852. The Town of North Kingstown will provide interpreters for the hearing impaired given three days notice in advance. 294-3331, Ext 120. Pursuant to RIGL 42-46-6(c) notice of this meeting has been posted on the Secretary of State's website.

Route 2 and 102 Stakeholder Visioning Process
Meeting 2
September 6, 2012 6:00-9:00 pm
Beechwood Senior Center, 44 Beach Street North Kingstown, RI

Meeting Summary

Next Meeting: The next meeting will be in late September (date to be determined) from 6:00-9:00pm at Wickford Middle School.
Meeting Participants: See Appendix A.
Next Steps:

- Jon Reiner – Let people know when the RIDOT roundabout meeting is scheduled
- Peter Flinker – Develop renderings of some different approaches for future visions
- Project Team – Create a map showing the final study area
- Members – Tell Ona about any alternates by 9/14
- Members – Review the Compact Village District Ordinance (on the project website and in your initial packet of materials)
- Landowners in the study area (and other members if you have them) – Send Jon your proposals and designs for your site & the area

Welcome and Introductions

Ona Ferguson, facilitator from the Consensus Building Institute facilitation team welcomed everyone to the meeting and led Stakeholder Group (SHG) introductions. Jeff Zucchi's alternate, Tom Kolling, sat in for Jeff. All materials from this meeting, including presentations, can be found within 10 days of the meeting at http://www.northkingstown.org/visioning-process-routes-2-and-102. The SHG approved the draft summary of SHG Meeting 1 with a few typo corrections and the addition of a point about membership in the summary section "Other."

Finalize Operating Procedures, Decision Rule & Geographic Scope

Group Agreement Reached:

- Members approved the Operating Procedures, including Decision Rule.
- Members decided on the geographic study area and area of influence.
- Members generally agreed that the residential area between the study area and Rt 4 should remain residential.

Members approved Operating Procedures as revised by the facilitator after the first meeting, with a few changes:

- Voting members who are absent may designate a SHG colleague to represent them.
- Interest groups are not required to have an alternate.
- All alternates are required to make all meetings and stay up to date on SHG discussions.

Members agreed that the threshold for broad agreement in regards to the decision rule will be 8 out of 11 with at least 2 votes of support each from the business/development and rural/residential groups.

The final report will record where broad agreement was met and where it was not and why. This threshold of agreement will indicate clearly to the Town Council those topics that were widely agreed upon.

Members also finalized the geographic scope of the study area, building on the discussion at meeting 1. They discussed multiple options for what should be inside the study area or inside the area of influence. Jon Reiner tested with the group several times possible agreement of everyone that the area between the study area and Rt 4 along the road should remain residential going forward. No one disagreed. The formal study area will be the parcels currently zoned commercial at the intersection including the Corner Tavern, the Bald Hill Garden Center, Oatley's restaurant, the Schartner Bald Hill Nursery, plus the Rolling Greens application area. The area of influence members want to be sure to also pay attention to incudes a half mile radius from the intersection, encompassing all adjacent parcels, extending to include all the parcels along route 102 to route 4. Members will continue to consider broader areas likely to be impacted by what happens at this intersection as well. People briefly discussed that land conserved with deed restriction is fairly permanently protected from development, whereas land that is not zoned commercial could in the future have that zoning changed to allow commercial development. Jon noted that having language in the comprehensive plan from this group indicating what you want to see will likely shape development for the next couple decades, which is the planning horizon of the comprehensive plan.

Physical Suitability and Site Constraints

Peter Flinker, Project Team member from Dodson and Associates, presented the physical limitations of the site and adjacent area. He showed maps of the study area without delineations of property boundaries, considering it all as a unified area. He depicted wetlands, streams, and soils, and briefly discussed that wetlands are protected by state law. These different maps all indicated moisture in the same general places, and Peter noted that it can be difficult to develop in areas with high water tables and especially moist soils. Members observed that there are almost no physical constraints on the study area itself, and noted that there are wetlands and streams in the surrounding areas. A member asked if water is a limiting site constraint, and Peter said that water will be discussed at a future meeting. A member of the public pointed out an area of wetlands, and Peter noted that general maps such as the ones he was showing get made more accurate and specific by surveyors and in development plans.

Current Buildout Capacity

Peter presented maps showing what the study area could look like if built out 100% under current zoning regulations. The maps showed commercial offices, pharmacies, banks and residential developments, with required parking spaces. Peter noted that in reality, if landowners sought to build at this scale, what was shown would likely be a bit more limited due to the planning process and other regulations, but that the character of the development would remain. He described buildout like this as a legal tool to show what could be constructed legally and physically (in terms of scale and type of use) according to today's rules. Members didn't discuss these images much, as they noted that such buildout is unlikely at this time.

Key Interests a Vision Should Strive to Meet

In order to identify the interests (key hopes/desires/needs) that the final vision should meet, Ona presented the group with a list of interests she had heard articulated by participants about this area over time. Members added to the list of interests to make it complete. The following list is the group's full list of (sometimes contradictory) interests that they hope the final vision will achieve, grouped by category:

Character

- Rural/suburban
- Effective transition zone from commercial (Rt. 4) to rural (Exeter)
- Experience as calm, peaceful, nice neighborhood
- Recreational areas to build sense of community
- Small-scale, appropriate commercial, including agricultural businesses
- Appropriate type of development for neighborhood
- Thoughtful village/ more dense (vs. sprawl or strip-mall) commercial
- Good architecture design
- Contained commercial area (not filling in from Rt. 4 to intersection)
- Mixed use (some small commercial, some homes, some agricultural)
- Enhance sense of community for existing residential neighborhoods

Economics / $ / Taxes

- Positive or neutral impact on taxes
    - Limit added school demand
    - Limit added costs of providing infrastructure (water, sewer, fire, roads)
- Supportive of other Town- or Region-wide investments, not detracting from them
- Economic viability for land owners
- Positive or neutral impact on residential land and property values
- Viable businesses, not empty storefronts
- Good design to improve value of development

Water

- Adequate supply and storage (quantity) for today and the future
    - Human use, including adequate volume and pressure for fire emergency
    - Ecosystem well-being
    - No undue impact on water supply for NK Town-wide
- High quality – provide effective wastewater management/treatment, prevent damage from nitrate loading
- Protect the watershed and aquifer
- Appropriate management of flooding and stormwater
- Appropriate municipal capacity to provide water and water flow

Traffic / Transportation

- Not too congested, able to get onto and off side roads, traffic calming

- Safe movement of people & vehicles
- Bike connector routes, bike friendly
- Pedestrian connector routes, pedestrian friendly
- Appropriate traffic management between here and Rt 4 (and further)
- Move high volume of traffic through area safely
- Reduction of through traffic
- Coordination with RI DOT, State, MBTA transportation initiatives
- Address summer traffic

Other

- Other environmental issues
    - Protective of sensitive resources like slopes, wetlands
    - Protect some open space, build upon protected open space
- Broad community issues and goals
    - Positive or neutral impact on
        - Other areas in North Kingstown, including Post Road
        - Exeter
    - Supports community goals of (e.g. the bond to protect open space)
        - North Kingstown
        - Exeter
- Approvable by Statewide Planning
- Makes sensible growth possible, fair decision process
- Evidence-based, uses numbers when possible
- Provide public recreational opportunities, e.g. Golf course

While discussing the list of interests, members shared some related thoughts. Someone noted the importance of exploring the relationship between the newly opened Wickford Junction train station and the study area. Someone noted that it is possible to safely moving traffic through the intersection while doing traffic calming, and someone highlighted the challenge of slowing traffic while trying to move vehicles through efficiently. People mentioned that traffic in the summertime is exceedingly heavy in the study area because of people going to the beach.

Suggestions for What to Develop for Meeting 3

Members brainstormed ideas for visual aides they would like to see for the study area at the next SHG meeting. The Project Team was asked to find or create, ideally showing some street-view images:

- Case studies, photographs and and examples of efforts to guide growth as intended from this region (e.g. South County Commons mixed use development) and from elsewhere.
- Renderings or images of
    - Destination type development, with small businesses and a character appropriate to the study area, with recreational opportunities and pedestrian connectors.
    - Small-scale commercial development with management of through traffic.
    - The proposals by and ideas of the current property owners for their sites.
    - A way to visualize the area as a gateway to Exeter and as a gateway to South County.
    - Likely development patterns or approaches (not theoretical ones that are unlikely here).

    - Transfer of development rights (TDR) to preserve Exeter land, e.g. Morris Farm.
    - Images that help the group look at site-based decisions in context, and not individually
- Fiscal impacts of the current buildout scenario: school impacts, infrastructure and taxes.
- Program elements to consider: Small scale agricultural commercial uses appropriate to this area (e.g. farmers markets), Residential, Recreational, Open space, Traffic management / roadways.

Public Comment

The facilitator reminded the public that they are welcome to contact those on the SHG who represent them or their interests, noting that the SHG contact list is now public. Chet Matteson, owner of the Corner Tavern, indicated that he understands the need to create places that are pleasing to the eye, said he wants to manage a great restaurant, and asked that his parcel not be down zoned to residential, but kept as general business.

Other

The RIDOT public meeting is scheduled on October 1st either at 6 or 7pm. It will discuss the DOT's intention for a round a bout at the study area intersection.

Stakeholder Group Business

Upcoming Events – The next SHG meeting, scheduled for September 24, conflicts with a Town Council Meeting. Ona will test different dates that week and select the date that works the best for everyone. She will also start to work on scheduling the public workshops. Ona will start working with resident representatives soon to plan the resident focus group.

Research Project - Ona said that MIT graduate student Rob Goodspeed is interested in conducting research during the public workshops about how visual tools help the community visioning process. He will present his proposal at the next SHG meeting, for members to decide whether it is workable.

The meeting adjourned at 8:43 pm.

APPENDIX A: Meeting Participants

Stakeholder Group Member & Alternates Present
Alternates are noted with an asterix
Michael Baker
Ahren Cohen
Frank Digregorio
Paul Dion
Mark Hawkins
Thomas Kolling* (for Jeff Zucchi)
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
Martha Pugh
John A. Patterson
Jonathan Reiner
Rit Schartner
David Schweid

Members absent
Meg Kerr
Jeff Zucchi

Project Team & NK Planning Dept. Staff
Ona Ferguson
Peter Flinker
Becky Lamond
Jared Weaver

Also in Attendance (this list is incomplete)
Jerry Duffy
Jim Ganung
Sue Licardi
Albert Lyons
Ron Mann
Chet Matteson
Alice O'Sullivan
Jack Revans
David Samson
Marie Samson
Rich Schartner (Jr)
Skip [Last Name?]

North Kingstown Route 2 and 102 Stakeholder Visioning Process
Regular Meeting Notice

Stakeholder Group Meeting 3 Agenda
Wednesday September 26, 2012
6:00 P.M.

Wickford Middle School Cafeteria
250 Tower Hill Road, North Kingstown, RI

North Kingstown Town Hall
80 Boston Neck Road
North Kingstown, RI 02852
401-294-3331

Stakeholder Group

Members
Michael Baker
Ahren Cohen
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Richard Schartner, Sr.
Jeff Zucchi

Non-voting Members
Frank DiGregorio
Paul Dion
Martha Pugh
Jonathan Reiner
David Schweid

Alternates
Michael Abbott
Tom Kolling
Albert Lyons
Richard Schartner II

AGENDA

6:00 Welcome and Introductions

- Review agenda, introductions, approve Meeting 2 notes – Ona Ferguson, CBI

6:15 Possible Impacts: Water and Economics

- Presentation and discussion about possible impacts raised in previous meetings – Nate Kelly, Horsley Witten

7:15 Discussion of Several Study Area Visions

- Discussion about some possible visions for the study area and examples from other places, based on participant interests – Peter Flinker, Dodson Associates

8:30 Public Workshop Structure

- Discussion about proposed approach to the public workshops – Ona Ferguson

8:45 Public Comment

8:55 Wrap Up / Stakeholder Group Business

- Review of meeting dates, general business
- Clarify next steps

9:00 Adjourn

Documentation (if any) for items listed on this Agenda is available for public inspection, a minimum of 24 hours prior to the Board meeting, at any time during regular business house at the Department of Planning, 55 Brown Street, North Kingstown, RI 02852. The Town of North Kingstown will provide interpreters for the hearing impaired given three days notice in advance. 294-3331, Ext 120. Pursuant to RIGL 42-46-6(c) notice of this meeting has been posted on the Secretary of State's website.

Route 2 and 102 Stakeholder Visioning Process
Meeting 3
September 26, 2012 6:00-9:00 pm
Wickford Middle School, North Kingstown, RI

Meeting Summary

Next Meetings: The next meeting, a Public Workshop, is scheduled for October 4, 6:00-9:00pm at Wickford Middle School. Subsequently, there is a Neighborhood Focus Group scheduled for October 10th, location to be determined. The next meeting of the Stakeholder Group will be Thursday October 25th, from 6-9pm, location TBD.
Meeting Participants: See Appendix A.
Next Steps:

- Project Team – develop Public Workshop agenda & refine scenarios to present.
- Project Team – develop online input approach.
- Project Team – review economic impact questions raised during the meeting.

Welcome and Introductions

Stakeholder Group members introduced themselves. All meeting materials can be found on the North Kingstown website, http://www.northkingstown.org/visioning-process-routes-2-and-102. The Stakeholder Group approved the Meeting 2 summary.

Ona Ferguson, facilitator, noted that several Stakeholder Group members had expressed concern about the timeline of the Planning Commission, which is scheduled to review the Rolling Greens Master Plan Amendment request in parallel to this visioning process. She reported that Liz Dolan, Chair of the Town Council, told her that the Planning Commission is required to review the submission per state law within certain time frames, but that the Town Council is not planning to make any decisions about what happens in the study area until after it has had time to review the final recommendations of the stakeholder group. Liz will discuss this process with the rest of the Town Council members at their October 1 meeting.

Possible Impacts: Water and Economics

In response to requests at the second Stakeholder Group meeting for more information on water and economics related to any development of the study area, Nate Kelly of Horsley Witten presented some additional background on these two subjects. His detailed presentation can be found on the project website.

Water

Nate described the North Kingstown system for water collection as storage and distribution. North Kingstown has a groundwater collection system (as opposed to a surface water system) with 11 different water wells and 5 water storage tanks that provide water for those on the town system. The distribution system runs throughout most of the Town. However, the Water Service Area is more limited in geographic scope. This more limited area shows where new connections for larger development are potentially allowable.

Nate noted that there is generally adequate water through the year, and that the challenge comes in summer, when demand is at its highest as people water lawns and groundwater supply is at its lowest. He described some of the water modeling scenarios used by North Kingstown to gauge the impact of new development on current water infrastructure. These models consistently show problems in long term demand, particularly in the summer peak demand season. The study area lies within the Annaquatucket aquifer.

North Kingstown addresses water quality and quantity through regulation in three broad categories: through land use planning designation, regulation of construction practices, and regulation of post-construction water use behaviors. On the land use planning side, North Kingstown uses tools like the transfer of development rights, which preserves land for recharging the aquifers, to actively protect water quantity. It incentivizes the use of compact village development, which uses less water per person per acre than traditional development patterns. It was noted that the town is currently discussing downsizing its current Water Service Area in an attempt to focus new water system connections to areas designated for growth in the Comprehensive Plan.

With regard to construction activity, North Kingstown requires best practices during construction such as selecting and maintaining plantings through a comprehensive landscaping ordinances to minimize water usage. Erosion and sediment controls as well as the State Stormwater Manual guide site designs and are focused on encouraging water capture,storage, and recharge on site. Once a site has been developed and buildings are occupied, the town monitors water use and gives financial incentives to encourage people to minimize water use. The water billing structure works in “blocks” and the higher the usage, the higher the rate applied for each gallon of use.

On the issue of water quality, Nate gave information about nitrate loading limitations, which are used to protect water quality in North Kingstown. Groundwater can easily be tested for nitrates and modeled, and North Kingstown uses models prior to development to ensure that the planned construction and end use will result in a permissible amount of nitrate loading. Nitrogen comes from many different sources on a given site including wastewater discharge, fertilizer application and stormwater runoff from impervious surfaces. Wastewater is almost always the highest contributor. North Kingstown requires all non-residential or mixed use development within the Groundwater Overlay districts to demonstrate that the amount of nitrogen produced by the development will not create a concentration in groundwater below the site higher than 5 mg/L. This standard is half the EPA threshold for safe drinking water (10 mg/L) and is used by many jurisdictions around the country as a conservative approach.

Stakeholder Group members had a range of questions, among which key themes are highlighted here, with answers in italics from the Project Team:

- Does this study area have aquifer problems? *The aquifer is stressed now in the summer months. When water supply is low in the summer, high human water use from lawn watering and other outdoor use can impact wetlands and streams (which dry up and become more shallow). In extreme conditions, the aquifer cannot yield enough water for the system.*
- What is the difference between water usage among uses (commercial, residential, industrial, etc.)? *Single family residential uses the most water. Agricultural users tend to use their own wells or cisterns for water storage, so they have a relatively low impact on the water system. Quonset Industrial Park requires that new users and older users where possible use its non-potable groundwater for watering landscaping.*

- Why is North Kingstown thinking of decreasing the water service area? What benefits will that provide, or what impact will it have on the public water system? *The town infrastructure, the actual town wells that pump the water, do not have the capacity to supply water to all of the current areas inside the current Water Service Area at current water use amounts. The state will not let us put in more municipal wells. Limiting the Water Service Area will limit the ability for new development outside of the WSA to connect to the system, providing a disincentive to develop outside the WSA. Where developers still choose to do so, they will be required to drill their own well on-site. This will still impact the aquifer. But because the withdrawal and the recharge are on the same site, that impact is minimized. A rule of thumb number for this situation is a 15% loss of water overall.*
- Do agricultural uses draw from the same aquifer with their wells? *Yes, but because they draw water locally and because much of it goes back into the ground onsite, the impact on the aquifer is far less than that of the town system.*

Mark Hawkins handed out a document with some water and nitrate loading calculations on it for Stakeholder Group members to read.

Economics

Nate Kelly described some possible fiscal impacts related to development of the study area. One issue he and the Project Team considered is that of school children, who contribute the largest piece to the town's budget. While dividing the school budget by the number of students generates a cost of almost $11,000 per child per year, the question of cost per student is more complex than that calculation implies. Right now North Kingstown has the capacity for more school children in the town's school system. The infrastructure needed for school children is already in place. So the incremental cost of adding a child to the system might be more like half of that number for the time being. The project team would need to spend a substantial amount of additional time on this issue, and will contribute some time in the future to attempt to clarify this information. A Stakeholder Group member said that despite the fact that North Kingstown has capacity, additional school children at this intersection will have a fiscal impact, and the goal should not be to get to capacity, but to consider impacts.

Stakeholder group members noted that Post Road is struggling economically and expressed concern that development here might harm development in other parts of town. Several people also noted that market demands have a significant role in what does or does not get developed, and that isn't something this group can determine. A few Stakeholder group members asked for more precise numbers on schools and other aspects of development. Nate and Jon Reiner said that the type of economic analysis required to quantify the impacts to Post Road from a CVD development in the study area is an enormous undertaking and could not be performed as part of this process. Jon and Nate said they would look into whether there may be other meaningful ways to get at the answer.

Study Area Scenarios for Discussion

Peter Flinker, Dodson & Flinker, presented several scenarios for possible futures of the study area. Since there are relatively few physical constraints on development in the study area, he identified the nitrate loading required as part of local regulations as the primary limiting factor on development. These scenarios were developed to provide the Stakeholder Group something somewhat precise to react to. They were also intended as straw man scenarios to possibly use at the upcoming Public Workshops and Neighborhood Focus Group. The goal eventually is for Stakeholder Group members to talk through benefits and problems with various scenarios until they jointly develop something that they can all live

with. At this meeting, members didn't have much time to give feedback, but their input shaped the scenarios presented at the Public Workshop and Neighborhood Focus Group.

Right of Way

Regardless of the future vision for the study area, there is a 165-foot right of way that belongs to the RI Department of Transportation (RIDOT) running east/west along Rt 102. This is an area that the Stakeholder Group cannot design, yet Jon Reiner said that he thought RIDOT would be open to presenting information to the group, or to hearing suggestions or input on what people would like to see in this wide area along the road. The design of the right of way could help tie the final plan for the study area together. Peter shared some drawings and ideas for the right of way, suggesting opportunities including:

- Establishing a safe and attractive walking and biking connection connecting existing neighborhoods to each other and to adjacent commercial areas.
- Preserving as many of the existing trees and other vegetation as possible to maintain the landscape character of the roadside and buffer surrounding neighborhoods from the view and sounds of the road.
- Creating a multi-purpose path along both sides of the road to allow walking and biking from Rt. 4 to Route 2, and continuing south and west to Exeter.
- Integrating paths and landscape improvements within the right of way with plans for Rolling Greens and other projects, so that a consistent level of quality and character can be maintained throughout the area.

Scenario 1: Current Buildout

This scenario begins with the amount of development that is allowed under current zoning and reduces the total based on the constraints of the 5 mg/l limit on nitrate loading. The residentially-zoned Rolling Greens parcel would thus be restricted to 54 residential units; the Shartner parcel could support approximately 60,000 s.f. of commercial/office space on a 20,000 s.f. footprint; and the Bald Hill Garden Center could support about 67,000 s.f. of commercial use. While a somewhat larger building could be built on the Corner Tavern site, it is likely that the existing restaurant – which would be impossible to build under current nitrate limitations -- would remain as grandfathered use. Peter noted that nitrate regulations in Exeter might allow for greater commercial density on the Exeter Schartner parcel. Finally, the Morris Farm, which is subject to four-acre zoning in Exeter, could be built out for about 17 house lots, including four existing homes.

Scenario 2: Conservation Development

This scenario depicts a conservation development approach. Business would continue in the same lots as it has previously, and all other development would be residential on half-acre lots following the town's existing Conservation Development ordinance. The emphasis of this approach is to protect the most important open space, including the golf course, the Morris Farm, and farm land south of the intersection – and accommodate residential development in areas that are largely hidden from routes 2 and 102. There would be little commercial other than what is already present.

Stakeholder Group members gave feedback including that this is the one that some people think fits best in the study area as it currently is, and that this is the scenario some of the neighbors have been looking for. Others noted that many of the businesses in the study area would likely object to the down-zoning of their properties from general business to residential.

Scenario 3: Village Development

This scenario shows a mix of commercial and residential development as would be allowed under the CVD ordinance. It thus includes the current plan for Rolling Greens, with 50,000 s.f. of commercial facing Rt. 102, and residential streets stretching out to the north. On the south side of 102, the plan takes the amount of commercial predicted by the buidout and rearranges it on the site to create the kind of walkable village character envisioned by the ordinance. Buildings are lined up along an internal street network, with some parking on the street and more placed in the rear of buildings. Continuous sidewalks, trees, benches, etc. would encourage people to park their cars once and walk from one building to another within the village. On the Shartner properties, in particular, uses could include a farmer's market, food processing, and other elements that could take advantage of the nearby farmland.

Stakeholder Group members asked whether this amount of commercial development would draw people away from the shops at Wickford Junction. Some said this seemed like a lot of commercial.

Generally, Stakeholder Group members commented in response to all of these scenarios that whatever the group recommends should be a net gain for the town and should give the place character as the gateway to South County and Exeter. The solution from this group needs to be something that works best for the town and for the people, not just for one group.

Upcoming Public Workshops

Participants reviewed a proposed approach to the structure of two upcoming Public Workshops, a Neighborhood Focus Group and a way to give input online. These will be structured to allow the public to share thoughts about the study area, and feedback from these different public engagement approaches will be compiled and provided for consideration by Stakeholder Group members. Stakeholder group members recommended that presenters be very clear what can and cannot be accomplished, and that the Project Team let the public have lots of time to give their input. They also acknowledged the difficulty of explaining all the relevant information to a public with a range of interest, background knowledge and capacity.

Ona said she would send around a request from Rob Goodspeed, a doctoral student at MIT, to survey pre and post meeting at one of the public workshops. [Update: she did not end up doing this due to scheduling/coordination challenges.]

Public Comment

John Revens stated that site owners today may not have plans for future development because development occurs based on market drivers of what is allowed and whether there is a willing buyer/customer with specific ideas and intentions.

The meeting adjourned at 9:15 pm.

APPENDIX A: Meeting Participants

Stakeholder Group Member & Alternates Present
Alternates are noted with an asterix
Michael Abbot* (For Frank Digregorio)
Michael Baker
Ahren Cohen
Paul Dion
Mark Hawkins
Meg Kerr
Tom Kolling* (For Jeff Zucchi)
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Martha Pugh
Jon Reiner
Rit Schartner
David Schweid

Absent Members
Frank DiGregorio
Jeff Zucchi

Project Team & NK Planning Dept. Staff
Ona Ferguson
Peter Flinker
Nate Kelley
Becky Lamond
Jared Weaver

Also in Attendance
Jerry Duffy
Tim Cranston
Donna Hutchinson
Lori Kay
Ron Mann
Alice O'Sullivan
Skip Ponte
John Revens
David Sampson
Marin Sampson
Rich Schartner
Rick Thompson

North Kingstown Route 2 and 102 Stakeholder Visioning Process
Regular Meeting Notice

Stakeholder Group Meeting 4 Agenda
Thursday October 25, 2012
6:00 P.M.

Wickford Middle School Cafeteria
250 Tower Hill Road, North Kingstown, RI

North Kingstown Town Hall
80 Boston Neck Road
North Kingstown, RI 02852
401-294-3331

Stakeholder Group

Members
Michael Baker
Ahren Cohen
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Richard Schartner, Sr.
Jeff Zucchi

Non-voting Members
Frank DiGregorio
Paul Dion
Martha Pugh
Jonathan Reiner
David Schweid

Alternates
Michael Abbott
Tom Kolling
Albert Lyons
Richard Schartner II

AGENDA

6:00 Welcome and Introductions

- Review agenda, introductions, approve Meeting 3 notes – Ona Ferguson, CBI

6:10 Discussion of 5 Development Scenarios

- Brief overview of the 5 development options presented at the workshop meetings – Peter Flinker, Dodson and Flinker
- Input received online, at 2 Public Workshops and at Neighborhood Focus Group – Ona Ferguson

6:30 Questions from Stakeholder Group on topics discussed to date

7:00 Discussion of Development Options

- 5 Development Scenarios
- Roadway Right of Way Improvements
- Comprehensive Plan Recommendations
    - Land Use Designations
    - Urban Services Boundary and Growth Centers
    - Water Service Area

8:45 Public Comment

8:55 Wrap Up / Stakeholder Group Business

- Review of meeting dates, general business
- Clarify next steps

9:00 Adjourn

Documentation (if any) for items listed on this Agenda is available for public inspection, a minimum of 24 hours prior to the Board meeting, at any time during regular business house at the Department of Planning, 55 Brown Street, North Kingstown, RI 02852. The Town of North Kingstown will provide interpreters for the hearing impaired given three days notice in advance. 294-3331, Ext 120. Pursuant to RIGL 42-46-6(c) notice of this meeting has been posted on the Secretary of State's website.

Route 2 and 102 Stakeholder Visioning Process
Meeting 4
October 25, 2012 6:00-9:00 pm
Wickford Middle School North Kingstown, RI

Draft Meeting Summary

Next Meeting: The next meeting is scheduled for November 7 from 6:00-9:00pm at the Senior Center.
Meeting Participants: See Appendix A.
Next Steps:

- Stakeholder Group Members – Brainstorm creative options that the full group might get behind.
- Ona Ferguson – Write up possible areas of agreement prior to the final meeting.

Welcome and Introductions

Ona Ferguson welcomed participants to the meeting. All meeting materials can be found on the North Kingstown website, http://www.northkingstown.org/visioning-process-routes-2-and-102. The meeting summary from Stakeholder Group meeting 3 was approved by the Stakeholder Group. Jon Reiner gave an overview of the October 16th Planning Commission meeting, at which the Commission decided to await the Stakeholder Group report before making a decision on the Rolling Greens application.

Feedback from the Public Engagement Meetings & Online Input

General Process - Ona then described the public engagement effort since the last Stakeholder Group meeting, which included three meetings and a way for people to give input online. Approximately 100 distinct individuals (not including Stakeholder Group members nor Planning Team members) attended one or more of the three meetings, which included two public workshops (October 4 and 15) and one neighborhood focus group (October 10). Most of the people who attended these sessions live near the study area. Approximately 50 individuals contributed their input online, and only a small handful of those (5-10) had also been at any of the three public meetings. Stakeholder Group members received a summary report from the three events and the exported results of the online input in advance of this meeting.

Themes - The themes of what public participants indicated they wanted for the study area included wanting a place with the following characteristics:

- Is safe for people in cars, on foot, and on bicycle, in the neighborhoods and along the major roads
- Adds value to the place, creates a neighborhood feeling, strives for a town rather than city feel
- Does not financially burden the town
- Protects open space and the golf course
- Has additional residential units, especially if a portion of them are age-restricted
- Uses landscaping for beautification and buffering between different types of uses
- Has some enhancements along the Ten Rod Road right of way
- With varied opinions on the capacity and appropriateness of any commercial, some saying there is room for limited, neighborhood-scale commercial, others saying this is not an appropriate place for commercial development beyond what exists now

- For any commercial spaces, buildings with a small footprint and not higher than two stories, and no big box stores
- For residential units, people like single family homes, some also like condos and duplexes, and a small number are also comfortable with apartments
- For uses, people liked the ideas of farmstands, winery, restaurants, small offices or none

Participants discussed the public input briefly, noting that those who gave public input generally loved the open space including significant support for preserving the golf course, and that some talked about preferring that development go on the Schartner parcel not the Bald Hill Garden Center, to protect residential interests of people on Plain Road and current residential neighborhoods.

Input on Specific Scenarios -Nate Kelly, Project Team member from Horsley Witten, presented the five development scenarios discussed since the last Stakeholder Group meeting. These were:

A. Conservation Design - Presented on Oct 4 & 10.
B. Mixed-Use Village Scenario (Residential Focus) – Presented on Oct 15
C. Village Scenario (Commercial Focus) - Presented on Oct 4 & 10
D. TDR Village Scenario (Commercial Focus) - Presented on Oct 4 & 10
E. Current Buildout - Presented on Oct 4 & 10

See Appendix B for details on each of these five and the project website for a chart comparing the five scenarios and a graphic representation of each one. Ona gave a quick summary of feedback on each of these scenarios from the public input.

Final Questions on Topics Discussed to Date

Participants had an opportunity to discuss issues they are still unclear about related to overarching themes like economics, water, and the like. They raised the following, with questions in italics and answers from the Planning Team in plain text:

- *Why did the comprehensive plan change "future land uses" in the study area?* One possibility is that technology has gotten more and more precise, enabling us to create exact future land use lines whereas maps used to be hand drawn and therefore less precise. Gradually mapping has used more and more detailed technology, which then enables us to identify inconsistencies.
- *What is the urban services boundary*? A line drawn by the state to indicate areas where growth and infrastructure should be focused. This study area was in the Urban Services Boundary when first created by the state, then North Kingstown asked that it be taken out. The State Planning Office will be fine either way, we just need to be clear what we want to see here.
- *Can a golf course be used as open space in density calculations for number of houses allowed on a cluster development despite the fact that it is a working business*? Yes, it has been done before in North Kingstown.
- *How can we solve Statewide Planning's concerns*? It depends on what vision this group develops. Depending on the vision for the future that the group reaches, assuming the Town adopts it and streamlines zoning and comprehensive planning to align with it, it should solve Statewide Planning's concerns. The Schartner parcel was denied as commercial because it was outside of the Urban Services Boundary.

- *Do Exeter and North Kingstown have any control over each others' Urban Service Boundary delineations?* No, they are independent.
- *How are big box stores defined?* A big box in North Kingstown is defined as a space over 50K square feet in a commercial area and over 85K square feet in a planned business zone. Pharmacies are about 15K, so are not considered big box stores.
- *Can we get more clarity on the economic impact of future development in the study area, especially as related to Post Road?* We can't get specific answers comparing those areas and looking at their impact on one another during this visioning effort. But considering the question of how they impact each other and what a researcher might look at, Nate Kelly did a bit more thinking about this and believes that the ~25,000 people who travel through the study area daily are likely a very different group of people than the ~20,000 people who travel through Post Road frequently. The infrastructure, zoning and size of the different areas, and the routes people probably take, make it likely that there isn't much overlap or impact of what happens at the study area and what happens on Post Road, though there is potentially more competition or impact between this area and Lafayette. A stakeholder group mentioned that Post Road has its own problems that can't be addressed during this visioning process.

Discussion of Different Future Visions for the Study Area

Stakeholder group members discussed what they would like to see in the future, using the five scenarios as one frame of reference and looking at various combinations of options for different sites at once. Participants were reminded that the goal is to take others' interests into account enough to develop an option that will work for a broad and diverse set of representatives, and that the details of where the USB or Water Services District can go can be modified once there is a joint vision. Jon Reiner said that water issues can be dealt with in any of the options under discussion. Ona reviewed some notes from the first and second Stakeholder Group meeting in which participants talked about their hopes for the process and outcome and their key interests, and encouraged participants to keep those interests in mind in trying to develop package outcomes that might be feasible.

A member noted that it is difficult to know the geographic scope we are discussing (very local, town-wide, or broader) in different parts of the discussion. Ona noted that the Town Council selected participants specifically to represent all these different voices on the Stakeholder Group. Participants then started tackling the question at hand of what options for a single vision might be workable. They suggested and discussed the following, within a wide-reaching discussion:

- Many people indicated their feelings about Scenarios A-E, with many people indicating that A, D and E were not viable and B and C were of most interest. Some felt A ought to be in the running, and others said a compromise between A and B or between B and C might be workable.
- Some indicated that they don't think the area should be seen as a growth center given all the public input in October.
- Vaughn Oatley and Mark Hawkins talked about the current Rolling Greens as their proposal for what would be appropriate, to meet many interests they've heard over the past few years. They also noted the difficulty of suggesting what should be on other peoples' parcels.
- Some said the Compact Village Development does not meet Exeter's conservation interests.
- The Rolling Greens proposal currently suggests 50K square feet of commercial, but might be possible with less. Some suggested this would be more acceptable if the level of commercial development were set to a maximum of 30K or 40K square feet. Others suggested that it might

be better with more of a setback or reorientation of commercial development, e.g. oriented on a north-south axis in the parcel rather oriented east-west along the road. Someone replied that such an orientation might make the parcels less desirable for businesses.

- People noted that intra-district TDR, which has been discussed as an option, could be very problematic and undermine the purpose of TDRs (Someone asked where the limit is and who can or can't use sending and receiving credits).
- Several people noted that the South County Commons model is not desirable here.
- People talked about the design of different scenarios and noted that how the buildings are spread across given parcels will result in a very different feeling/character.
- People said the design quality of commercial spaces and what you see from the road is important to many around the table.
- Someone said that having commercial uses on all three areas under discussion was undesirable.
- Rit Schartner described his idea of creating a food hub for Rhode Island on his parcels that would include dairy production and processing, teaching centers, and farm to table activities of all kind.
- Many people said they do not like the large commercial buildings that are currently allowed in the study area.
- People suggested buying the difference between the development rights that land owners may not want to part with to get the level of commercial in the area to a level that neighbors can be comfortable with.
- Upon a request from some of the stakeholders, someone attending the meeting spoke for the Bald Hill Garden Center owners, saying that they want their parcel to be allowed to be developed as it was when they purchased it.

There was some straw poll testing of different combinations of scenarios done with the stakeholder group, but none got a high level of approval or support. The amount of commercial on different parcels remains one of the key unresolved items of discussion.

Stakeholder Group Business

The November 7 Stakeholder Group meeting will be this group's fifth and final meeting because the Town Council will be considering the group's input a week later on November 15. Participants said having a meeting prior to November 7 was not feasible for them given election activities.

Ona urged the stakeholders to contact each prior to the next meeting and explore possible solutions together. She reminded Stakeholder Group members that they are permitted to talk together outside of formal as long as those participating together were a minority of the group as a whole. She offered to be a conduit for communication if one member wanted to email the rest of the participants.

APPENDIX A: Meeting Participants

Stakeholder Group Members & Alternates Present
Alternates are noted with an asterisk(*)
Michael Baker
Ahren Cohen
Frank Digregorio
Paul Dion
Mark Hawkins
Meg Kerr
Thomas Kolling*
Al Lyons*
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Jon Reiner
Rit Schartner
Rich Schartner II*
David Schweid
Jeff Zucchi
Members absent
John Nosatch
Martha Pughe

Project Team & NK Planning Dept. Staff
Ona Ferguson
Peter Flinker
Becky Lamond
Nicole LaFontaine
Jared Weaver
Also in Attendance (this list is incomplete)
Jim Ganung
Ann Ganung
Ron Gillette
Ron Mann
Alice O'Sullivan
Jack Revens
David Samson
Marie Samson
Rick Thompson
Skip Ponte

Appendix B: The Five Primary Scenarios Discussed

The following is a quick summary of the scenarios discussed in the public engagement phase of this visioning project. Please see the project website for the five maps depicting what each might look like, a memo with a more detailed description of the scenarios, and to see the chart comparing the scenarios.

A. Conservation Design Scenario – This scenario for the future development of the intersection is based on existing regulations for Rolling Greens, and changing the zoning on the other three parcels, Schartner Bald Hill Nursery, Corner Tavern, and Bald Hill Garden Center, to residential. The Rolling Greens property could be built under this zoning today. The Morris Farm property (in Exeter) could be built to this development option today. As for the Corner Tavern and the Bald Hill Garden Center, this is what the current Comprehensive Plan states should be built on these properties in the future. These two properties are both currently zoned commercial. This scenario has approximately 54 house lots on the Rolling Greens property, 17 house lots on the Morris Farm (in Exeter), 5 house lots on the Schartner property, the Corner Tavern still has the restaurant on it, and the garden center has 5 house lots.

B. Mixed-Use Village Scenario (Residential Focus) – This scenario shows the current proposal for Rolling Greens except for a reduction in commercial area from 50,000 square feet to 30,000 s.f. Each of the two Schartner properties, as well as the Bald Hill Garden Center site, would have 20,000 square feet of commercial and 15 residential units. For each of the three properties, these are shown as a mix of five two-bedroom homes, and ten one-bedroom cottages. This proposal would require a zone change and comprehensive plan amendment changing the Rolling Greens property as well as the Schartner parcels, Corner Tavern and the Bald Hill Garden Center to a Compact Village District (CVD). The Corner Tavern current restaurant use would remain unchanged in this scenario.

C. Village Scenario (Commercial Focus) – This scenario for the future development of the intersection shows the Rolling Greens property as what the applicant would like to build on this piece of property and conceptually expands that development pattern to other commercially zoned pieces of land to the south and west including the Schartner land, the Corner Tavern, and the Bald Hill Garden Center. This proposal would require a zone change and comprehensive plan amendment for all of the focus parcels at the intersection including the entire Rolling Greens property, the Corner Tavern, the Bald Hill Garden Center, and the Schartner Bald Hill Nursery piece to a Compact Village District (CVD). This plan for RG has approximately 50,000 square feet of commercial space, including approximately 5,000 for a new Oatley's restaurant, and approximately 106 residential housing units. This scenario has 60,000 square feet of office or retail uses at each of the Schartner properties, maintains 6,000 square feet of restaurant at the corner tavern, and adds 67,500 square feet of retail/office at the Bald Hill Garden Center site. The CVD zone allows a commercial building footprint to reach a footprint of 15,000 square feet for a parcel 10 acres in size or larger. If a parcel is less than 10 acres, the largest commercial footprint allowed would be 10,000 square feet. Under this scenario, the maximum number of buildings with a 15,000 square foot footprint would be 3, 1 on the Rolling Greens property, 1 on the Schartner property, and possibly 1 on the Bald Hill Garden Center if they combined some of the land from the Tavern piece to their property to make it 10 acres in size.

D. Transfer of Development Rights (TDR) Village Scenario (Commercial Focus) –This scenario for the future development of the intersection shows an example of a more dense "village development" option for the intersection. Using TDR, the 120,000 square feet of commercial/office space that could be built on the two Schartner properties would be transferred across the street, with 50,000 s.f. added to the Rolling Greens commercial area, 2,500 s.f added to the Corner Tavern property, and 67,500 s.f. added to the potential commercial development on the Bald Hill Garden Center site. This development option would thus have the same total amount of commercial development as the first village scenario, but the development would be more dense (2 or 2-1/2 story buildings instead of single story). Meanwhile both the Morris Farm and the Schartner properties would be permanently protected.

E. Current Buildout Scenario - This scenario for the future development of the intersection shows what could be built today under the current zoning. These options could realistically meet all of North Kingstown's groundwater protection requirements, and have sufficient water capacity to build at this development intensity. The specific development types and building sizes are indicated on the plan. This development scenario will include the loss of the golf course, the development of over 50 3-4 bedroom houses in North Kingstown at Rolling Greens, the development of over 120,000 square feet of office or retail on the Schartner property, approximately 75,000 square feet of retail on the garden center property, and either keeping a restaurant, or having a possible pharmacy or other large similar use on the corner tavern property.

North Kingstown Route 2 and 102 Stakeholder Visioning Process
Regular Meeting Notice

Stakeholder Group Meeting 5 Agenda
Wednesday November 7, 2012
6:00 P.M.

Beechwood Senior Center
44 Beach Street

North Kingstown Town Hall
80 Boston Neck Road
North Kingstown, RI 02852
401-294-3331

Stakeholder Group

Members
Michael Baker
Ahren Cohen
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Richard Schartner, Sr.
Jeff Zucchi

Non-voting Members
Frank DiGregorio
Paul Dion
Martha Pugh
Jonathan Reiner
David Schweid

Alternates
Michael Abbott
Tom Kolling
Albert Lyons
Richard Schartner II

AGENDA

6:00 Welcome and Introductions
- Review agenda, introductions, approve Meeting 4 notes – Ona Ferguson, CBI

6:10 Overview of stakeholder group survey

6:30 Questions from Stakeholder Group on topics discussed to date

6:45 Review of recommendation matrix

7:00 Discussion and development of Preferred Development Option(s)
- **Development Scenarios plus other options**
- **Roadway Right of Way Improvements**
- **Comprehensive Plan Recommendations**
  - **Land Use Designations**
  - **Urban Services Boundary and Growth Centers**
  - **Water Service Area**

8:30 Refinement of final recommendations

9:15 Public Comment

9:20 Wrap Up / Stakeholder Group Business
- Clarify next steps

9:30 Adjourn

Documentation (if any) for items listed on this Agenda is available for public inspection, a minimum of 24 hours prior to the Board meeting, at any time during regular business house at the Department of Planning, 55 Brown Street, North Kingstown, RI 02852. The Town of North Kingstown will provide interpreters for the hearing impaired given three days notice in advance. 294-3331, Ext 120. Pursuant to RIGL 42-46-6(c) notice of this meeting has been posted on the Secretary of State's website.

Route 2 and 102 Stakeholder Visioning Process
Site Visit Meeting Notice

Site Visit 1
Tuesday September 4, 2012
6:00 P.M.

Parking Lot of Oatley's
Ten Rod Road

North Kingstown Town Hall
80 Boston Neck Road
North Kingstown, RI 02852
401-294-3331

AGENDA

6:00 Welcome and walk site

- Areas to be reviewed will be Oatley's, Rolling Greens Golf Course and club house, Schartner Bald Hill Nursery, the Corner Tavern, and the Bald Hill garden Center

Stakeholder Group

Members

Michael Baker
Ahren Cohen
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Richard Schartner, Sr.
Jeff Zucchi

Non-voting members

Frank DiGregorio
Paul Dion
Martha Pughe
Jonathan Reiner
David Schweid

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Route 2 and 102 Stakeholder Visioning Process
Site Visit Meeting Notice

Site Visit 2
Thursday September 6, 2012
7:00 A.M.

Parking Lot of Oatley's
Ten Rod Road

North Kingstown Town Hall
80 Boston Neck Road
North Kingstown, RI 02852
401-294-3331

AGENDA

7:00 A.M. **Welcome and walk site**

- Areas to be reviewed will be Oatley's, Rolling Greens Golf Course and club house, Schartner Bald Hill Nursery, the Corner Tavern, and the Bald Hill garden Center

Stakeholder Group

Members

Michael Baker
Ahren Cohen
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Richard Schartner, Sr.
Jeff Zucchi

Non-voting members

Frank DiGregorio
Paul Dion
Martha Pughe
Jonathan Reiner
David Schweid

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Route 2 and 102 Stakeholder Visioning Process
Site Visit Meeting Notice

Site Visit 2
Thursday September 6, 2012
4:00 P.M.

Parking Lot of Oatley's
Ten Rod Road

North Kingstown Town Hall
80 Boston Neck Road
North Kingstown, RI 02852
401-294-3331

AGENDA

4:00 P.M. **Welcome and walk site**

- Areas to be reviewed will be Oatley's, Rolling Greens Golf Course and club house, Schartner Bald Hill Nursery, the Corner Tavern, and the Bald Hill Garden Center

Stakeholder Group

Members

Michael Baker
Ahren Cohen
Mark Hawkins
Meg Kerr
Kevin Maloney
John Nosatch
Vaughn Oatley
Colin O'Sullivan
John Patterson
Richard Schartner, Sr.
Jeff Zucchi

Non-voting members

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APPENDIX C:

Development Scenarios.

TOWN OF
NORTH KINGSTOWN, RHODE ISLAND

80 BOSTON NECK ROAD
NORTH KINGSTOWN, R.I. 02852-5762
PHONE: (401) 294-3331
www.northkingstown.org

To: Stakeholder Group

From: Jonathan J. Reiner, Director of Planning

Date: October 24, 2012

Re: Route 2/102 build out and development scenarios

The project team received feedback from members of the stakeholder group (SHG) regarding the development scenarios that were presented at the last SHG meeting, and the relevance of the scenarios to the SHG process. Concerns also arose as part of the feedback questioning why we have not discussed the bigger picture issues regarding whether or not this area should be located in the Statewide Planning Urban Services Boundary (USB), whether or not this area should be designated as a growth center, and the questions about the Water Service Area (WSA).

The purpose of this memo will be to describe the five proposed development scenario options, as well as some alternatives for the roadway right of way, the USB, and the impacts on the WSA. This memo will also describe what those development scenarios mean, and how they interrelate to the zoning and comprehensive plan for that intersection.

A map of the focus area which includes the focus area parcels is attached for review (attachment 1). The radius area in this map depicts an area ½ mile around the western intersection of Routes 2 and 102. A corridor going east to the Route 4 overpass is also included in this study area. The parcels of land that are the focus of this effort are those parcels highlighted in red. The map also has text boxes indicated the name of each property. These parcels are currently under consideration for:

- possible inclusion within or exclusion from the Urban Services Boundary,
- establishment of this area or not as a growth center,
- inclusion or exclusion of these parcels in the town Water Service Area,
- resolution of the conflict between the existing zoning on the Corner Tavern and the Bald Hill Garden Center (both currently zoned General Business (GB) and their current designation in the Comprehensive Plan as high density residential,
- resolution for the recent denial by SWP for the Schartner Comprehensive Plan and zoning change; and
- recommendation for the future development vision for the Rolling Greens Golf Course.

The crux of the planning problems for this intersection is that each question that needs to be answered is very much dependent on what other decisions are made for development or non-development scenarios. For example, if the town does not wish to change any of the zoning of the land at this intersection, then it does not make any sense to designate this area as a growth center. In that case, it would also not make sense to modify the town's water service area to include this area.

It is important to remember if the stakeholder group decides against additional commercial development at the Rolling Greens property or the intersection as a whole, a resolution needs to be recommended to the

Town Council which addresses the inconsistency between the Schartner, Garden Center, and Corner Tavern properties as it relates to the Town of North Kingstown Comprehensive Plan and Rhode Island Statewide Planning's (SWP) recent denial of the Schartner future land use map amendment, which is located in the comprehensive plan. Also, if the group decides that town should not change anything, then we have not solved the problems with the comprehensive plan and zoning inconsistencies for the Corner Tavern and the Bald Hill Garden Center and the recent Statewide Planning (SWP) denial of the Schartner change.

A solution for the denial by SWP of the Schartner amendment is required. In addition, possible roadway recommendations could also be under consideration this study area to better facilitate traffic flow, incorporate multiple modes of transportation, and to improve the view shed of the corridor from the road right of way (ROW).

Water, Urban Services Boundary, and Growth Centers

In regards to both water quality and water quantity, a solution can be designed under each development scenario listed below. The standards in place today require strict limits on nitrogen loading for the protection of water quality. These standards are THE MAJOR limiting factors in the density of development for any development scenario at this intersection. All development proposals can be, and will be required to be designed to protect groundwater as is required by the town's zoning ordinance. All of the development scenarios below are modeled to meet the town's requirements. For water quantity, the town is taking steps to reduce our peak day demand of water use, specifically in the summer months. The town has been and will continue to take steps to reduce peak water usage so that water can be made available for new growth in the towns designated growth areas. If the town wishes to see growth happen at this intersection, water quantity, the availability of water, will be addressed through water management measures.

In regards to amending the Urban Services Boundary (USB) or designating this area as a growth center, these options really depend on what the vision for the intersection is, and to what level the town wishes to see growth happen at this intersection. If the town wanted to extend the WSA for this entire intersection, and possibly expand growth opportunities into the intersection and areas outside of the intersection in the future for commercial growth, it would make sense to extend the urban services boundary. If the town wanted to direct growth only to the intersection, then the town would designate this area as a growth center. If the town wised to have no commercial growth at this intersection, and change the zoning all back to residential, then no changes to the USB would be required, and the town would NOT designate this area as a growth center.

DESCRIPTION OF DEVELOPMENT SCENARIOS

For all of the development scenarios, please reference the chart of development scenarios included in the appendix titled *Development Scenario Comparison*. For each option, please consider whether this is what you and the stakeholder group envision for development at this intersection. Please consider the impacts of each scenario and ask yourself questions. Will the scenario be a fiscal burden to the town? Will it positively or negatively impact the character of the area? How does the scenario fit the needs of the intersection? How does the scenario fit your vision for the intersection?

1. **Development under residential conservation design regulations (Option A in appendix)**
   This is an option for the future development of the intersection based on existing zoning for Rolling Greens, and changing the zoning on the other three parcels: Schartner Bald Hill Nursery, Corner Tavern, and Bald Hill Garden Center, to residential. The Rolling Greens property could be built as a conservation design subdivision under the existing zoning today. The Morris Farm property (in Exeter) could be built to this development option today. This assumes that both of

the applicants build their developments under the OPTIONAL conservation design subdivision regulations. As for the Corner Tavern and the Bald Hill Garden Center, this is what the current NK Comprehensive Plan states should be built on these properties in the future. These two properties are both currently zoned commercial, but for many years, the comprehensive plan has designated these properties residential. Clearly there is an inconsistency existing today regarding the two properties between the town's comprehensive plan and zoning map. This scenario has approximately 54 1/2-acres house lots on the Rolling Greens property, 14 1/2-acre house lots on the Morris Farm (in Exeter), and five 1/2-acre house lots on the Schartner property. The Corner Tavern still has the restaurant on it, and the Bald Hill Garden Center has four 2-acre house lots in addition to the existing commercial building. This option would preserve the golf course as open space, as well as a substantial portion of the farmland on the Morris farm, and more than half of the currently unprotected Schartner farmland.

This is a possible scenario for the future of these four properties as it would be consistent with the CURRENT comprehensive plan designation for the properties, except for the Schartner piece which would need to be changed from commercial to residential. This scenario would require that the town change the comprehensive plan and the zoning for the Schartner piece back to residential, and to change the Bald Hill Garden Center and the Corner Tavern from General Business to residential.

Lastly, the state denied the commercial zoning change to the NK Comprehensive Plan for the Schartner piece, as it was inconsistent with the surrounding zoning. The state indicated that the town can either:

a. Change the commercial properties back to residential zoning; or
b. Plan for a village center type of zoning district at this intersection.

If this scenario were implemented, the existing uses on those properties would still be legally allowed to continue, but if they wanted to change in the future, they would have to be changed to residential. This residential development scenario would most likely meet the requirements of SWP. This area would not need to be designated as a growth center, the USB would not need to be adjusted, and no changes to the town water service area would be required.

2. Mixed-Use Village Scenario (Residential Focus) – under CVD ordinance (Option B in appendix)

This scenario shows all of the focus area parcels developed under a Compact Village District (CVD) ordinance scenario, but has more of a residential focus on the Schartner and Garden Center properties, and has less commercial than what is currently allowed under the existing General Business (GB) zoning. The Corner Tavern is still shown as it currently exists because in reviewing possibilities for development on the site, it appears that a restaurant is the highest and best use on that property. This CVD option for Rolling Greens contains 106 residential housing units (at an average of 2 beds per unit) and 30,000 square feet of commercial zoning, with a maximum building footprint of 15,000 square feet. The Garden Center is proposed to have 20,000 square feet of commercial in possibly two 10,000 square foot buildings and approximately 15 residential units (20 bedrooms in total). The Bald Hill Nursery/Schartner property is proposed to have 20,000 square feet of commercial in possibly two - 10,000 square foot buildings and approximately 15 residential units (20 bedrooms in total). There is also a space for an outdoor farmers' market shown on this plan for that property. The Morris Farm is shown to have four residential house lots. This option would preserve the golf course as open space.

The current CVD ordinance does not allow a commercial building footprint to exceed 15,000 square feet for a parcel bigger than 10 acres in size, and if a parcel is less than 10 acres, the largest commercial footprint allowed would be 10,000 square feet. When compared with the buildout scenario under existing zoning, the net amount of commercial in this CVD is less than what the existing zoning allows for the intersection. The impact to the groundwater from nitrogen is less under this CVD proposal compared to the existing zoning buildout. This is due to having strict standards for commercial development, but not having the same strict standards for residential developments. Regardless of whether a CVD is in place or not, commercial development scale is primarily limited by nitrogen loading standards across all of these properties.

This proposal would require a zone change and comprehensive plan amendment for all of the focus parcels to a Compact Village District (CVD). This scenario would not require changing the USB, but would make sense to designate this area as a Growth Center. It would also make sense to include this development scenario within the town's WSA. This CVD- residential focus development scenario would most likely meet the requirements of SWP. The SHG could also recommend no additional zoning changes outside of the RG, Schartner, Corner Tavern, and Garden Center properties to assist in preventing the creeping of commercial zoning down Ten Rod Road or Quaker Lane.

3. **Village (Commercial Focus) Scenario under CVD ordinance (Option C in appendix)**
This scenario shows the Rolling Greens (RG) property as submitted by the applicant to the town. This application is under consideration at the October 16, and 30, 2012 Planning Commission meetings. This proposal includes what the applicant would like to build on the Rolling Greens property and conceptually expands that development pattern to other commercially zoned pieces of land to the south and west including the Schartner land, the Corner Tavern, and the Bald Hill Garden Center. This proposal would require a zone change and comprehensive plan amendment for all of the focus parcels to a Compact Village District (CVD). This plan for RG has approximately 50,000 square feet of commercial space, including approximately 5,000 for a new Oatley's restaurant, and approximately 106 residential housing units. This development scenario shows the Schartner, Corner Tavern, and the Bald Hill Garden Center properties built out under a CVD zone option. The existing business on those properties could stay as they currently are, or have the ability in the future to change according to the criteria of the CVD zone. This scenario has 60,000 square feet or office or retail uses at the Schartner piece, 6,000 square feet of restaurant at the Corner Tavern, and 67,500 square feet of retail/office. This option would preserve the golf course as open space.

The CVD ordinance does not allow a commercial building footprint to exceed 15,000 square feet for a parcel bigger than 10 acres in size, and if a parcel is less than 10 acres, the largest commercial footprint allowed would be 10,000 square feet. When compared with the buildout scenario under existing zoning, the net amount of commercial compared to the CVD is less, although, the impact to the groundwater from nitrogen is less under the CVD. This is due to having strict standards for commercial development, but not having the same strict standards for residential developments. Regardless of whether a CVD is in place or not, commercial development scale is primarily limited by nitrogen loading standards across all of these properties.

In order to implement this development scenario for the entire intersection, the properties would need to be changed in the comprehensive plan to mixed use village center and the zoning would need to be changed to CVD. Under this development scenario, it would make sense to include this area in the town's Water Service Area (WSA), not move the Urban Services Boundary

(USB), but instead to designate this area as a growth center. This would address the concerns of SWP in their recent denial of the Schartner amendment. The SHG could also recommend no additional zoning changes outside of the RG, Schartner, Corner Tavern, and Garden Center properties to assist in preventing the creeping of commercial zoning down Ten Rod Road or Quaker Lane.

4. **Development of a "Transfer of Development Rights Village (TDR Village) Scenario – commercial focus" village development at intersection (Option D in appendix)**
   This development scenario is an example of a more dense "village development" option for the intersection. This development option would have more residential and commercial density than the village scenario on the developed sites, but could also preserve the Morris and Schartner properties through the town's transfer of development rights process. This option would preserve the golf course as open space. This proposal would require a zone change and comprehensive plan amendment for all of the focus parcels to a Compact Village District (CVD). This development option would require amendments to the current CVD zoning text to allow development this dense with TDR's, and would most likely occur under some type of transfer of development rights (TDR) option. Sending areas and receiving areas would need to be determined. This development option would require a designation of the intersection as a growth center, inclusion in the WSA, and comprehensive plan and zoning changes to CVD. This development scenario would most likely satisfy the requirements of SWP.

5. **Development possible at current zoning build out (Option E in appendix)**
   These slides were presented within the PowerPoint presentation dated 9.26, and at our previous stakeholder meeting. These are very important slides in that they depict what could be built today under the current zoning and current comprehensive plan designations. These options could realistically meet all of the existing groundwater zoning requirements. The current water system has sufficient water capacity to build at this development intensity. The specific development types and building sizes are indicated on the plan. *Please do not ignore this scenario because it has not yet been built.* This development scenario will include the loss of the golf course, the development of over 50 2-acre lot with 3-4 bedroom houses on Rolling Greens, the development of over 100,000 square feet of office or retail on the Schartner property, approximately 75,000 square feet of retail on the Garden Center property, and either keeping a restaurant or having a possible pharmacy or other large chain box-type use on the Corner Tavern property of approximately 15,000 square feet. This option would also see a build out of the Morris Farm in Exeter to 17 single family 4-acre house lots. Under this scenario the maximum building footprint on the Schartner piece is 20,000 square feet, and is 50,000 square feet on the Bald Hill Garden Center property.

   It is essential to consider the reality that leaving the current zoning of the intersection as is would NOT address the concerns of SWP in their comprehensive plan denial. The comprehensive plan denial would remain in place if the current zoning and comprehensive plan designations stay as they are defined.

6. **Development at this site under existing and some type of village zoning (South County Design Manual, RIDEM, 2002) (Attached in Appendix – 3 slides)**
   Older models of development for this site were developed for the Rhode Island Department of Environmental Management in 2002, as a model to conserve land when the focus area parcels were developed. This was completed showing a number of development scenarios, similar to the exercises that we are completing, as part of this original intersection vision. One option shown which was based on existing zoning (build out) prior to the purchase of development rights at the Schartner Farm is now not possible for that property because of the purchase of development

rights, but the other build out options are still possible on the unprotected parcels. The village scenario is similar to what would be allowed under a CVD, although this development scenario was focused more on agricultural commercial uses (another option that the group could focus on in the final recommendation).

IMPROVEMENT SCENARIOS FOR THE ROADWAY

In addition to what happens within the land that is privately owned, it is important for the group to make recommendations on the future use of the Ten Rod Road and Quaker Lane right of way (ROW). The ROW in this area is unusually large due to the historic use of this road for transportation of livestock and other agricultural products many years ago, and if the town wishes to preserve this as a two lane scenic road, we should state that in our findings and why. No matter what the future land use designation of this intersection, to ignore the ROW and the possibilities of improving this portion of the corridor would be a lost opportunity. Further, the design of the ROW will play a critical role on how future development affects the character of this roadway and the so-called "gateway" status between Exeter and North Kingstown. Options that were discussed at the meetings included screening with landscaping, a bike path, walking trails or sidewalks, and treatments that would slow down the traffic on the roadway. There may also need to be other infrastructure improvements to the ROW to address automobile safety. All of these options must be considered in the context of the upcoming installation of a roundabout at the intersection and the installation of a turning lane at Lang Drive and Ten Rod Road. **All** of the development scenarios below include the location of the roundabout as well as a walking/biking component to them.

Moving forward…

The stakeholder group has heard from the commercial property owners that they do not want to give up any of their property rights. In the first meeting of the entire group, everyone at the table acknowledged the need to develop solutions that recognized these interests. However several members of the stakeholder group stressed the need for a solution that is also good for the character of the area, has a positive tax flow for the town, and is good for the land owners and the abutters of the intersection.

The group's first task is determining what type of development is most appropriate for this intersection. Once that has been determined, we will then address the following questions:

- The current General Business zoning at the intersection does allow buildings up to 50,000 square feet in size. The town does not currently allow for "big box" development (buildings over 50,000 square feet in size) in the existing zoning designations at this intersection, is that limitation appropriate or inappropriate development for this intersection?
- This intersection, including the 10 acres of commercial zoned land in Exeter owned by the Schartner family, currently has 35 acres of commercially zoned property. Is that too much, just right, or not enough commercial zoning for this intersection? What is the right amount of commercial zoning at the intersection and what is the rationale for such a number? (For examples, the Rolling Greens current application shows less than 8 acres of commercially zoned land on that plan).
- Should the town extend the Urban Services Boundary to this intersection or not?
- Should this area be designated as a growth center or not?
- Does the town want to include this entire intersection in the town's Water Service Area?
- Are there specific uses that the group would recommend not be allowed at this intersection? Is there a focus on what uses should be encouraged at this intersection? How important is this issue compared to the other concerns for this intersection?
- What are the benefits of each development scenario? What are the negatives of each development scenario?

- Is the concept of the CVD zoning correct for this intersection? Does the CVD zoning need to be amended to truly meet the vision for the intersection?
- Should transfer of development rights (TDR) be utilized to implement any of these or other development scenarios?

At the last stakeholders meeting on September 26, 2012, a memo was passed out to the stakeholder group regarding possible final products of this stakeholders group that would be given to the Town Council and Planning Commission in order to come up with a resolution to the current planning issues at the intersection. In considering our development options for this intersection, different aspects of each of these options could be considered in your deliberations of what works for this area the best looking forward to the next twenty years. There is also an extensive amount of information in relation to this project on the project webpage at http://www.northkingstown.org/visioning-process-routes-2-and-102

If you should have any questions about these development scenarios, this stakeholder process or the project, please feel free to contact the planning department at 268-1571. In order to give you the best possible information we need to hear from you, the stakeholders about any issues of clarity or any concerns with the project.

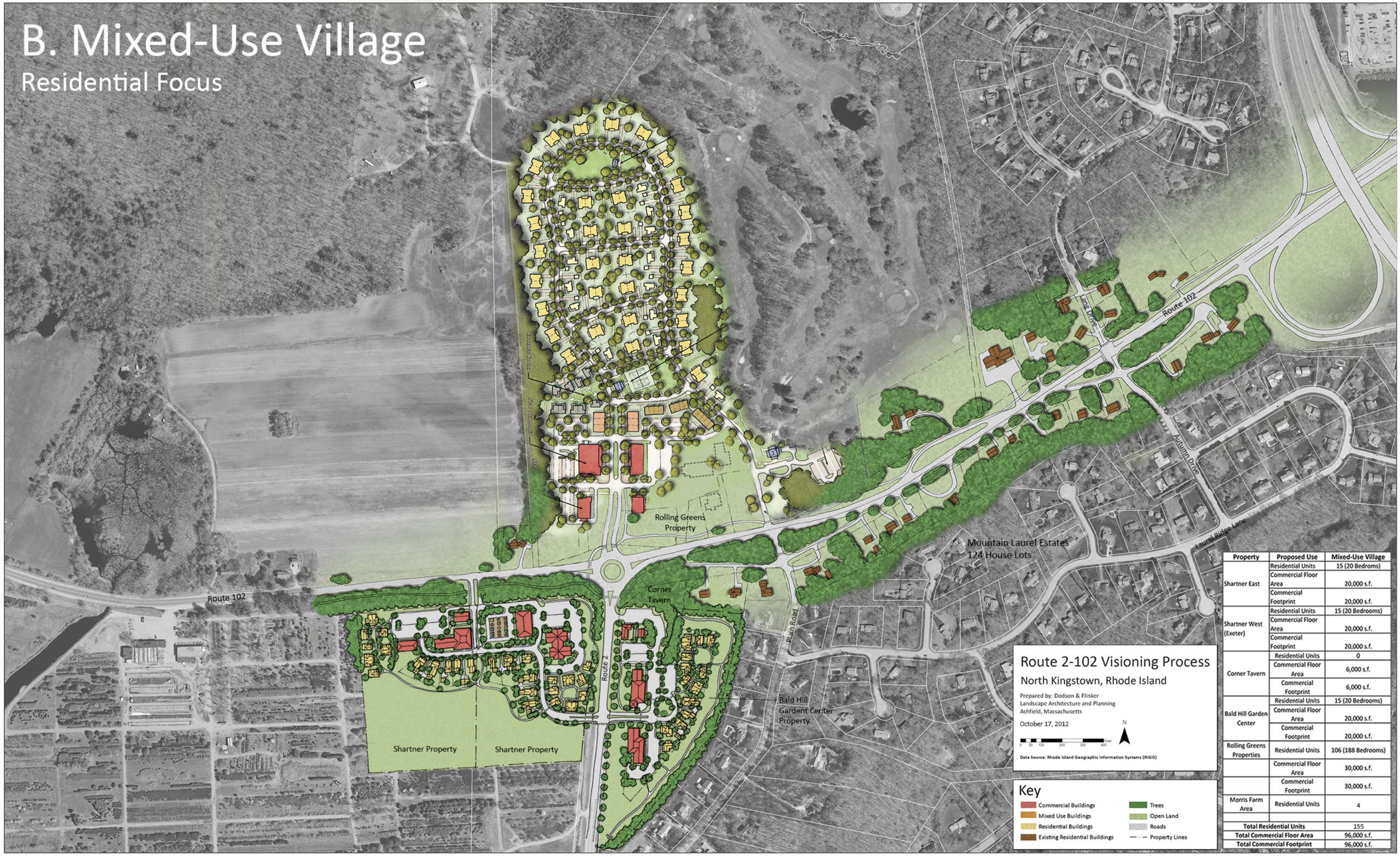
cc: Embury, Alyward, Planning Commission, Planning Department, Kelly, Flinker, Ferguson

A. Conservation Design

Property	Proposed Use	Conservation Design
Shartner East	Residential Units	5
	Commercial Floor Area	0
	Commercial Footprint	0
Shartner West (Exeter)	Residential Units	5
	Commercial Floor Area	0
	Commercial Footprint	0
Corner Tavern	Residential Units	0
	Commercial Floor Area	6,000 s.f.
	Commercial Footprint	6,000 s.f.
Bald Hill Garden Center	Residential Units	5
	Commercial Floor Area	0
	Commercial Footprint	0
Rolling Greens Properties	Residential Units	53
	Commercial Floor Area	6,000 s.f.
	Commercial Footprint	6,000 s.f.
Morris Farm Area	Residential Units	17
Total Residential Units		85
Total Commercial Floor Area		12,000 s.f.
Total Commercial Footprint		12,000 s.f.

B. Mixed-Use Village

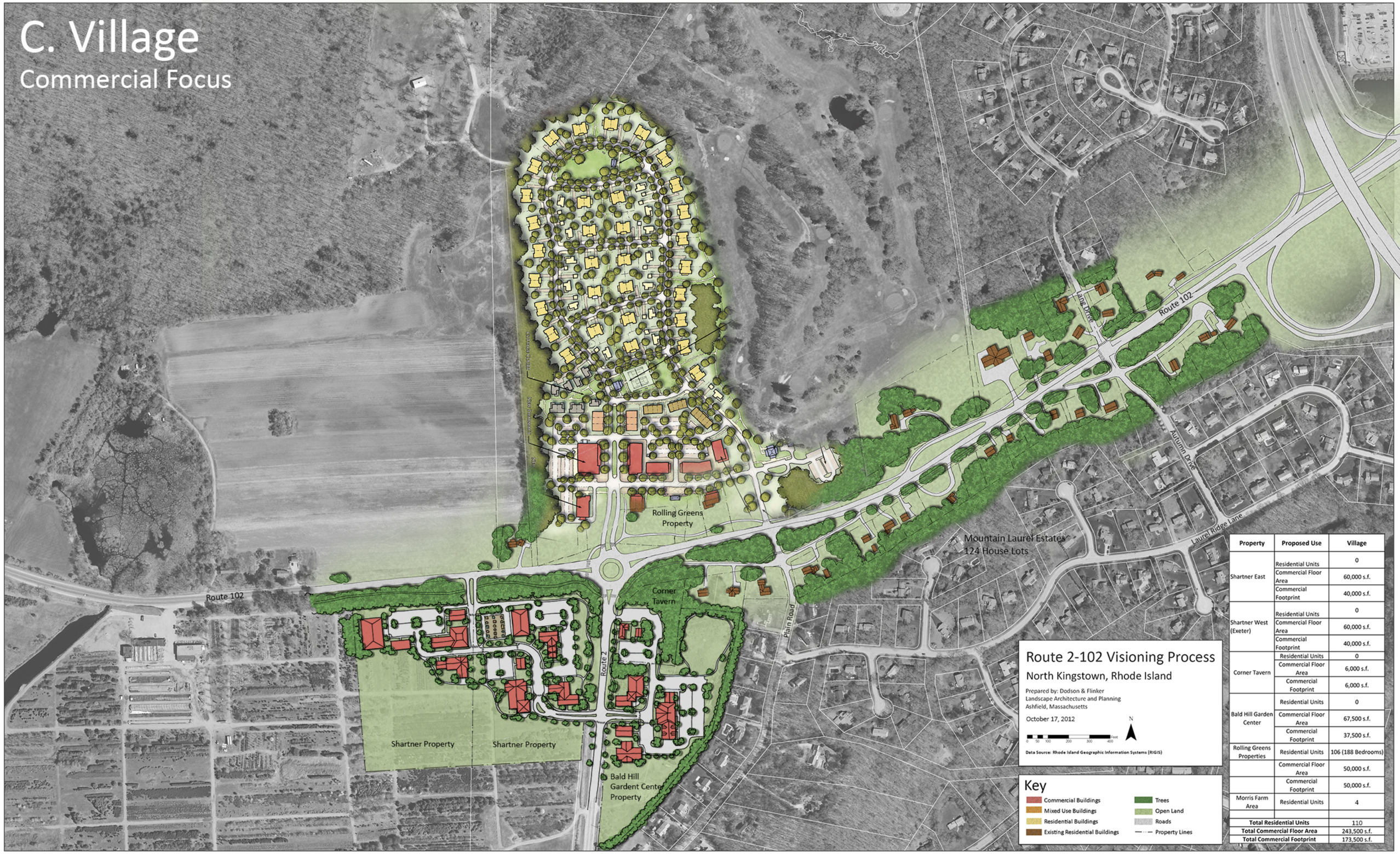
Residential Focus



Property	Proposed Use	Mixed-Use Village
Shartner East	Residential Units	15 (20 Bedrooms)
	Commercial Floor Area	20,000 s.f.
	Commercial Footprint	20,000 s.f.
Shartner West (Exeter)	Residential Units	15 (20 Bedrooms)
	Commercial Floor Area	20,000 s.f.
	Commercial Footprint	20,000 s.f.
Corner Tavern	Residential Units	0
	Commercial Floor Area	6,000 s.f.
	Commercial Footprint	6,000 s.f.
Bald Hill Garden Center	Residential Units	15 (20 Bedrooms)
	Commercial Floor Area	20,000 s.f.
	Commercial Footprint	20,000 s.f.
Rolling Greens Properties	Residential Units	106 (188 Bedrooms)
	Commercial Floor Area	30,000 s.f.
	Commercial Footprint	30,000 s.f.
Morris Farm Area	Residential Units	4
Total Residential Units		155
Total Commercial Floor Area		96,000 s.f.
Total Commercial Footprint		96,000 s.f.

C. Village

Commercial Focus



Property	Proposed Use	Village
Shartner East	Residential Units	0
	Commercial Floor Area	60,000 s.f.
	Commercial Footprint	40,000 s.f.
Shartner West (Exeter)	Residential Units	0
	Commercial Floor Area	60,000 s.f.
	Commercial Footprint	40,000 s.f.
Corner Tavern	Residential Units	0
	Commercial Floor Area	6,000 s.f.
	Commercial Footprint	6,000 s.f.
Bald Hill Garden Center	Residential Units	0
	Commercial Floor Area	67,500 s.f.
	Commercial Footprint	37,500 s.f.
Rolling Greens Properties	Residential Units	106 (188 Bedrooms)
	Commercial Floor Area	50,000 s.f.
	Commercial Footprint	50,000 s.f.
Morris Farm Area	Residential Units	4
Total Residential Units		110
Total Commercial Floor Area		243,500 s.f.
Total Commercial Footprint		173,500 s.f.

D. TDR Village

Commercial Focus

Property	Proposed Use	TDR Village
Shartner East	Residential Units	0
	Commercial Floor Area	0
	Commercial Footprint	0
Shartner West (Exeter)	Residential Units	0
	Commercial Floor Area	0
	Commercial Footprint	0
Corner Tavern	Residential Units	0
	Commercial Floor Area	8,500 s.f.
	Commercial Footprint	8,500 s.f.
Bald Hill Garden Center	Residential Units	
	Commercial Floor Area	135,000 s.f.
	Commercial Footprint	54,000 s.f.
Rolling Greens Properties	Residential Units	106 (188 Bedrooms)
	Commercial Floor Area	100,000 s.f.
	Commercial Footprint	50,000 s.f.
Morris Farm Area	Residential Units	4
Total Residential Units		110
Total Commercial Floor Area		243,500 s.f.
Total Commercial Footprint		112,500 s.f.

E. Buildout

Property	Proposed Use	Buildout
Shartner East	Residential Units	5 (as alternate to commercial use)
	Commercial Floor Area	60,000 s.f.
	Commercial Footprint	20,000 s.f.
Shartner West (Exeter)	Residential Units	5 (as alternate to commercial use)
	Commercial Floor Area	60,000 s.f.
	Commercial Footprint	20,000 s.f.
Corner Tavern	Residential Units	0
	Commercial Floor Area	12,500 s.f.
	Commercial Footprint	12,500 s.f.
Bald Hill Garden Center	Residential Units	5 (as alternate to commercial use)
	Commercial Floor Area	67,500 s.f.
	Commercial Footprint	67,500 s.f.
Rolling Greens Properties	Residential Units	53 (including 3 existing)
	Commercial Floor Area	6,000 s.f. (Oatley's)
	Commercial Footprint	6,000 s.f. (Oatley's)
Morris Farm Area	Residential Units	17 (including existing)
Total Residential Units		85
Total Commercial Floor Area		206,000 s.f.
Total Commercial Footprint		126,000 s.f.

APPENDIX D:

Summary of Public Meeting Feedback.

Feedback from Public Workshops & Neighborhood Focus Group
North Kingstown Route 2/102 Visioning Process
Fall 2012

For a full set of materials related to these three working sessions including summaries of previous meetings, please see the project webpage at
http://www.northkingstown.org/visioning-process-routes-2-and-102

This summary of the discussions at three public events was prepared by Ona Ferguson, facilitator of the Rt. 2/102 Visioning Process to assist Stakeholder Group members in their deliberations.

Table of Contents

A. Overview and Executive Summary
B. Notes from Public Workshop 1, October 4, 2012
C. Notes from Neighborhood Focus Group, October 10, 2012
D. Notes from Public Workshop 2, October 15, 2012
E. Feedback on Scenarios from all 3 events
Appendix A: Attendance at Public Workshops
Appendix B: Scenarios Discussed

Note that Section E, Feedback on Scenarios from all 3 events, contains the themes from the discussions at those events about the future scenarios. The scenarios, described in more detail in Appendix B, are:

A. Conservation Design - Presented on Oct 4 & 10
B. Mixed-Use Village Scenario (Residential Focus) – Presented on Oct 15
C. Village Scenario (Commercial Focus) - Presented on Oct 4 & 10
D. TDR Village Scenario (Commercial Focus) - Presented on Oct 4 & 10
E. Current Buildout - Presented on Oct 4 & 10

A. Overview and Executive Summary

Background - In October 2012, three events were held to gather public input and perspectives on the future vision for the Rt. 2/102 area in North Kingstown, RI. These events were held to learn public sentiment and opinions at the mid-point of the work of a Stakeholder Group appointed by the Town Council. The Town Council convened this Stakeholder Group to generate a community vision for the western intersection of Routes 2 and 102. More detailed information regarding how this process was conceived and how the Stakeholder Group was convened can be found on the project website.

One of the primary driving factors for this process is the reality that the North Kingstown Comprehensive Plan must be in compliance with the Rhode Island Land Use 2025 State Guide Plan Element. Even small intensifications to zoning, according to state officials, would require that a plan and vision for this intersection be developed. The group has been meeting regularly to explore interests, increase understanding, highlight and refine options. When it reconvenes in late October, the group will start to develop the components of a possible vision for the area and seek agreement on what should happen at the western Rt. 2/102 intersection. If this group reaches consensus or broad-based support for a recommendation, the Town Council and the Planning Commission will take that under serious consideration.

Public Engagement & Participation - These three events were designed to give members of the public an opportunity to share their perspective. There was also a way for people to give their input online to the same questions asked at the first two public events (results from that will be available separately). These meetings were attended by at least 100 distinct members of the public who signed in at one or more of the three events described here, 14 members of the Stakeholder Group, and the members of the Project Team.

Themes – Please read this set of notes for the themes that emerged from each separate discussion. In many cases, the themes from different discussions were diverse and sometimes are in conflict. However, there were general common themes that arose at all the sessions, which the Stakeholder Group should take, into careful consideration. Among those things many people said were key in the study area for any future vision are:

- A safe walkable, bikeable neighborhood which people can get into and out of on foot, bike or in a car.
- An area that has added value – is pretty, welcoming, ideally rural or town-like.
- A vision that will not burden the town with additional financial demands.
- A future that will protect or enhance neighbors' property values.
- A place that has character and, if commercial is allowed to develop, commercial use that is unique to the setting in design and scale.
- A desire to protect open space and the golf course.
- Beautiful landscaping and design to enhance the way the place looks and buffer views of any commercial development from both the roadway and neighboring commercial.
- To prevent large scale commercial and, for some, any new commercial from moving in.
- There were varied and strongly felt opinions also about what type of housing is appropriate, with some saying a variety of housing types could work and others arguing for single family
- A concern that commercial development not be allowed to grow continuously out from Route 4.

B. Notes from Public Workshop 1, October 4, 2012

On October 4, 38 members of the public gathered at Wickford Middle School to share their thoughts on a vision for the Rt. 2/102 study area. Members of the Visioning Stakeholder Group also attended to hear the feedback from the broader public.

The Study Area Today - Participants wrote down the first 5 words that come to mind when they think of the study area (the Rt. 2/102 intersection) today. This is their list, sorted by number of repetitions (indicated in brackets) then alphabetized. Words without a bracket beside them were suggested only once.

Rural [6]
Busy (traffic) [5]
Gateway [4]
Residential [4]
Confusing [3]
Small shops [3]
Accidents [2]
Agricultural [2]
Commercial-free [2]
Congestion [2]
Dangerous [2]
Farmland [2]
Golf course [2]
Increasingly loud [2]
New growth [2]
Res/commercial [2]
Road access [2]
2 + 102 Intersection
Accident prone
Adult community
Badly designed
Behind the times
Beneficial to town
Better access
Business
Challenging (driving)
Change
Commercial buildout
Condo/single family homes
Confusing driving lanes
Contemplative
Contentious
Cost
Development
Dilapidated
Economic stimulus
Equity
Exhausted
Farm land
Food/dining
Going easily
Green
Holiday traffic
Home value
Ignoring lights
Isolated, lonely
Law
Mixed residential
Nature
Needs change
Neighborhood blight
Open Space (nature)
Pandora's box
Pass through
Place to reflect
Preservation
Project timeline
Prone for village concept
Quicker moving
Quiet
Restaurant
Rural/urban
Safety 2 total
Scenic
Slow moving traffic
Small restaurants
Spacious
Speed control
Speeding
Tax generator
Tourist shops
Traffic (police)
Traffic light
Transitional
Tree lined streets
Trees
Ugly
Under/developed
Unplanned
Variable traffic density
Waiting
Water protection
Water quality/quantity
Water zoning
Way of life
Welcoming

Large Group Discussion - Project Team members then presented background on the visioning process and on some key topics related to the study area, and participants discussed some issues as a large group. Key topics and concerns raised included:

- The need to not further burden the town's budget, the need for tax generation and so to consider townhomes and single family homes less likely to stress the school system.
- The desire to keep existing commercial properties in the study area but not allow for others since there are already two other commercial areas in North Kingstown (Wickford Junction and Post Road).
- A desire for trees to buffer different uses.
- A need to address traffic safety and congestion issues.
- A desire for a walkable and bikeable area.
- A desire to think about what we don't have in the area and seek to build that (e.g. neighborhood stores), rather than duplicating things that exist elsewhere.
- Hope that big box stores not be allowed in the study area.
- Questions about how this process links to the Rolling Greens CVD application process.
- A desire for this vision to be part of a whole.
- A desire to keep the golf course.
- A concern that sprawl or a commercial corridor not extend to this study area.

Responses to Scenarios

Each participant then got a chance to share his or her individual feedback on four development scenarios. These scenarios were developed to give people something to respond to and to give an example of the variety of options for different parcels under different types of vision. Participants had the opportunity to indicate what they liked and didn't like about each scenario, and then to identify the three points people had made that they felt most strongly about, which are indicated in brackets in this summary. In discussions about all of the scenarios, some people mentioned that they liked the set-back bike path that connects to the east, south and west. Each note taker took notes slightly differently, so comments are captured slightly differently for each scenario. See Appendix B for a description of the scenarios.

The notes on the responses to the scenarios can be found in Section E of this document, organized by scenario.

C. Notes from the Neighborhood Focus Group, October 10, 2012

On October 10, 65 neighbors who live or work in or near the study area gathered at the Masonic Lodge to share their thoughts on a vision for the Rt. 2/102 study area. Members of the Visioning Stakeholder Group attended to hear the feedback from the neighbors. At the request of the representatives on the Stakeholder Group who represent neighbors, the structure for this Focus Group largely followed that of the first Public Workshop, with a bit less presentation and a bit more time for large group discussion. The feedback on the four scenarios was also somewhat less formal.

The Study Area Today & In The Future - Participants wrote down the first 5 words that came to mind when thinking of the study area (the Rt. 2/102 intersection) today. This is their list, sorted by number of repetitions (indicated in brackets) then alphabetized. Words without a bracket beside them were suggested only once. They were also asked to indicate, confidentially, whether they thought the area in the future should be mostly residential, mostly commercial, or a mixture of both. Of those who turned in responses, 30 people indicated that the area should be mostly residential, and 15 indicated that it should be a mixture of both. No one indicated they thought it should be primarily commercial.

Rural [21]
Traffic [11]
Open [8]
Country /Country setting [7]
Farming [6]
Peaceful [5]
Quiet [5]
Trees [5]
Accidents [4]
Beautiful, open space [3]
Dangerous intersection [3]
Green [3]
Natural [3]
Quaint [3]
Residential [3]
Scenic [3]
Tradition [3]
Water questions [3]
Beautiful [2]
Bike friendly [2]
Busy [2]
Home / Homey [2]
Increased traffic [2]
Local [2]
Messy [2]
Non-cluttered [2]
Picturesque [2]
Relaxing [2]
Safe for kids [2]
Speed [2]
Unsafe [2]
Appropriate commercial use
Beautiful Sunsets
Calming
Cars
Convenient store
Drab
End of general civilization
Family
Family style ownership
Fields
Fresh air
Gateway to beaches
Gateway to farming
Golf course
Grass
Hawks
Inviting
Leaving city behind
Large residential Lots
Limited growth
Local charm
Losing rural character
Low/no traffic
Max green space
Mishmash
Native grown
No walkability
Non-congested
Non-urban
Not heavily developed
Nutty traffic
Old (dated)
Outdoor recreation
Pastures
Peace & quiet
Pedestrian
Poorly designed
Privacy
Quality of life
Quiet surroundings
Recreation

Road repair problems	Settled, not commercial	Transition to farms
Rural entrance to South County	Slow moving traffic	Unspoiled
Safe	Small business	URI
Scenic views	Starting to look like Warwick	Welcoming
School problems	Summer	Wildlife
Seasonal business	Traffic medium too heavy	
Seasons	Tranquil	

Large Group Discussion – Participants asked many questions about the process and the reason for this visioning effort. They then shared ideas of what they would like to see in the future in the study area. Elements of a vision they articulated included:

- A desire for walkability.
- A desire for any changes to be toward developing it beautifully into a small, warm country setting, with local business' in lieu of big box stores or chain store typologies (e.g. country general store, native restaurants).
- The desire for something unique, with character, to use rural design to draw people through tourism.
- The need for recreational space, open space, and parks, possibly by buying development rights.
- A need for both biking and walking connectivity from Oatley's to Walmart. A desire to enhance the bike route along Route 2.
- A desire to keep the rural flavor of the area.
- A desire to see mostly residential development, changing commercial zoning to low density residential.
- A hope that the area can continue to feel like a town, not a city.
- A desire to create a gateway feel of the intersection, like that at the Narragansett rotary.
- A hope that drive-throughs will not be allowed.
- A desire to keep existing big trees.
- A desire to have a neutral effect on water supply and quality.
- A desire to reverse the urban sprawl tendencies of North Kingstown.
- A need for uniform design standards that unify the built environment and keep the quality of the space rural/agricultural and unique, limiting signage and protecting viewing of stars in the night sky by lighting limitations.
- A desire for any development to occur with families in mind.

Responses to Scenarios – Participants gave feedback on the same four development scenarios presented at the first Public Workshop (Scenarios A, C, D and E). Their feedback is summarized in Section E. Unlike at the October 4 Public Workshop, the discussions were more conversational and less structured, so there was less of a focus on getting people to indicate their top priorities. Instead, neighbors were milling from scenario to scenario sharing what they liked and didn't like about each freely, with some staying for longer periods of time at particular scenarios.

D. Notes from Public Workshop 2, October 15, 2012

On October 15, 17 members of the public gathered at Wickford Middle School for the follow up to the first public workshop. This was a smaller group than the previous two, and again members of the Stakeholder Group attended to listen and, this time, participate.

Ona Ferguson, process facilitator, shared her synthesis of some of the themes that emerged at the first two sessions, including:

- The importance of the character of this area, wanting it to remain or even become more of a small, warm, country setting
- The potential to provide an option that blended the residential focus of the Conservation Development concept with the Village concept…something in between
- The desire to keep open space and the golf course
- Concern about sprawl (commercial spreading continuously from the east)
- The desire that anything that happens in this area add value to the place
- A desire to prevent any big box stores and a desire to have any commercial be small- or neighborhood-scale (such as single-story boutiques, agricultural related businesses like Schartner's Farm Stand).
- A desire to make the area less messy and a little more beautiful.
- A desire for good design with standards preventing neon signs.
- The importance of improving safe and efficient movement of traffic, people and vehicles. A suggestion to make Beacon Drive one-way if that would help.
- The desire for bicycle and pedestrian connectivity. A desire to make Rt. 2 more walkable and bikeable, perhaps with a pedestrian walkway.
- The importance of beautification, trees, landscaping
- A hope that commercial development will be set back from the intersection
- A desire to buffer residents on Plain Road from any commercial development
- The importance of protecting water, and for retail uses to conserve water, promote re-use, etc.
- A desire for a parking lot for a bike path so people could start biking from this area.
- The importance of not burdening the town and residents financially
- Preserving Morris Farm and the Schartner parcel
- Willingness by some to have some townhomes, others preferring single family homes
- A desire for real walkability
- A desire for this area to continue to feel like a town, not a city
- A desire for a dark sky (preventing light pollution)
- A desire for this to become a gateway

Project Team members presented a fifth scenario that fits between the most residential (Scenario A – Conservation Design) and the next most residential (Scenario C - Village Scenario (Commercial Focus)). They developed this scenario in response to feedback from the first two events that it would be nice to see something with slightly more commercial than Scenario A and less than Scenario C. This new scenario, labeled Scenario B in these notes, is entitled Mixed-Use Village Scenario (Residential Focus). Participants gave their feedback in a large group on this scenario, raising concerns in particular about safety, traffic, and the impact of smaller homes and lots on real estate values. See notes in section E. below.

After discussing Scenario B, participants in the full group gave immediate feedback via individual keypads to a suite of photos depicting different building and layouts and to a series of questions. The questions asked with the relevant images and the numbers of who indicated support for what can be found on the project website (http://www.northkingstown.org/visioning-process-routes-2-and-102). Note that Stakeholder Group members present were contributing their preferences and/or observations with those of the members of the public, as they were *not* asked to only observe this activity. Note also that some of the questions were missing a "none of the above" or "other" option or were clarified more fully during the exercise. This activity was intended to get a sense of the opinions of those present on some general ways the future might look and to give people a chance to say specifically what they think about some key questions such as "do we want to preserve the golf course?" (74% yes and 26% don't care), "do we want bike path connections from this area to other places?" (71% yes and 29% don't care), and "should we allow drive-throughs?" (77% said no, 14% said yes, 9% don't care). There are many more questions and opinions expressed in the full document.

E. Feedback on Scenarios from all 3 Events

Conservation Design Scenario (Scenario A)

From October 4:

What do you like?

- It keeps the golf course [14]
- It is primarily residential [13]
- This is the lowest density neighborhood, the best of the four scenarios [6]
- It doesn't add unnecessary commercial development, it doesn't allow for empty storefronts and businesses [6]
- The setback of Rolling Greens development, so it is a private residential community [3]
- It maintains the character/feel of the area [3]
- There isn't any commercial use right by the houses on Plain Road [2]
- Routes 102 and 2 are dangerous, people shouldn't be trying to walk there and this concept will limit that type of dangerous circulation [1]
- It is what I envisioned for a possible future of the area when I bought my house [1]
- Traffic is addressed with the roundabout [1].
- It doesn't create too much new traffic on Rt.102 to Exeter [1]
- It doesn't draw people from other places to this area, which is nice for neighbors
- It keeps the existing businesses
- Clustered housing, assuming it doesn't cause extra nitrate loading
- Nice, clustered, curvy design

What don't you like?

- There are not enough daily services within walking distance. It might be nice to have some neighborhood businesses, which this scenario hardly has, to decrease travel time to services for people living here [7]
- It would be better if the commercial were setback 300' [4]
- Concerned about traffic (speed, and neighbors having to drive to everything) [3]
- Clustering houses in a recharge area [3]
- If the houses are 3-4 Bedroom, they have higher impact on schools and taxes than other types of houses [3]

- If the residences are 3-4 bedroom houses, there would be high water use with pools, etc. [2]
- There might be empty homes because people aren't attracted to live in the area [1]
- Some agricultural land gets sacrificed to residential development /residential development starts to encroach on agricultural land, a hard trend to reverse [1]
- There's overall incongruity in development patterns between this and what is going on right nearby (across Route 4, for example) [1]
- It could mean a lot of school buses are in the area [1]
- It isn't a village
- There isn't much neighborhood, the houses are pretty spread out
- Big residences

What (in this case residential) uses would be appropriate?

- A healthy mix of residential types. [Everyone in one discussion group agreed with this]
- 55+ (senior) housing including town homes as part of a mix [3]
- Some affordable housing as required [3]
- Single family houses [1]
- Don't want any affordable housing here
- No multi- or two-family homes because they/apartments would decrease the value of the property and just become projects.

From October 10:

What do you like?

- Character
    - It keeps the rural feel / Character [7]
    - It is the same as what we have today
- Limited commercial & mostly residential
    - No big commercial [10]
    - It doesn't add any commercial [6]
    - No big commercial on the south side, to keep property values [6]
    - It is mostly residential [5]
    - Little commercial
    - Residential south of the intersection
- Creates/protects open space [3]
    - Open space below the intersection [5]
    - Greenspace, setbacks, trees
    - It is compact and preserves open space
- Recreation
    - It maintains the golf course [7]
- I like this one the best [5]
- Traffic
    - It probably won't add much traffic to the south [2]
    - Least increase in traffic
    - Minimal traffic
- Housing stock
    - Single family homes
    - High density housing
- It preserves current zoning [2]

- Oatley's would be viable with new neighbors
- Least impact on water
- It is the least dense
- It is the least sprawly

What don't you like?

- Traffic
    - Concerned that it doesn't address traffic from URI and summer traffic from these residents [2]
    - Concerned about traffic from Rolling Greens to the one intersection, needs another exit for residents
- Safety
    - Concerned about safety of pedestrians
- Commercial
    - Want a bit of commercial – could have a library or post office branch so people don't drive everywhere [1]
- Property Values
    - Worried that small lots will decrease the value of the homes on these sites

Other:

- Want more recreation:
    - It would be nice to add a playground
    - There should be a bike path added east/west and to the south
- Important that both commercial sites remain village scale / single story
- There is no need for more homes in North Kingstown

Mixed-Use Village Scenario (Scenario B)

From October 15:

What do you like?

- The ratio of commercial to residential is reasonable / better than with some other scenarios
- The buffer to houses on Plain Road
- The bike path

What don't you like?

- The residential development is too dense and the lots are too small per residence.
- Don't want more commercial. We already have enough empty commercial space in North Kingstown and other places that are in decline.
- Concern about traffic (it could take years for the state DOT to address this appropriately). Concern about safety of entrance & exits & accidents, and concern that traffic could back up even further if a new light were added.
- There's no infrastructure for this additional development – this would be starting from scratch.
- Concern of the impact of clustered homes / cottages on current residential neighbors. What is the impact on land values? What is the cost to the town of cluster housing?

What would improve this scenario?

- There are enough residences in North Kingstown already. If there is more residential, it should be age restricted. Education is expensive.
- Fewer buildings and homes, more larger homes.
- More trees to buffer the commercial that is shown on Rolling Greens.
- A well-established playground or some parks.
- There should be restaurants as part of the mix (but there is a concern about nitrate loading for restaurants).
- This needs to be walkable, there has to be a safe way to cross the streets between these different village sections.
- There needs to be a safe way for bikes to cross Route 4 and the other roads.
- The rotary needs to be simple to use and work safely.
- Shift most of the commercial development to beside Oatley's so there is a balance of traffic between different areas.
- Keep the commercial to what is currently zoned.
- Address traffic in the neighborhoods (safety, speeds) in addition to on Routes 1 & 102.
- If a commercial building is vacant, could we establish some serious fine for the property owner so it continues to financially benefit the town?
- Because the infrastructure isn't in place for this development, we should downzone.

Other:

- Would like to know how many additional automobile trips would be added through the intersection to the current daily number of approximately 23K for each new building.
- Because we have such low levels of commercial in North Kingstown compared to the amount of residential use we have, our taxes are higher than those in some nearby communities.

Village Scenario (Commercial Focus) (Scenario C)

From October 4:

What do you like?

- Walkability/Bikeability - walkability [6]; IF commercial, this is a better way to connect - more walkable/bikeable [2]; Like connection by bike on east and west of Route 4 [2]; Would be nice to ride bike on 102 [1]
- Traffic - Good traffic layout; Roundabout
- Type of Development
    - Like Residential [3]; Only residential down Route 102
    - Like to see Rolling Greens now and not across the street in 20 years [1]
    - Like Golf Course [13]; Keep Golf course [3]; Like open space (golf course and Morris Farm); Open space (use TDRs) [1]
    - Like small coffee/Jitters [1]; Small restaurant /deli; Small commercial OK - nice not to have to go to Post Rd [1]; Quaint commercial good - like Wickford - serve daily needs [2]
    - Offices; Office OK; Smaller scale commercial - local - doctors office [1]; Daytime uses
    - Keep more agricultural on Schartner parcel
    - Over 50; no kids; low water usage [3]; Like 55+ - won't impacts schools [2]; Less impact on town services if 55 yrs and over and if sewers in future more cost effective [5]
- Design
    - Like setbacks [1]; Like commercial set back off of 102 [9] / Rural buffer [2]
    - Continue mixed use design across Route 102 to Corner Tavern and Bald Hill

    - Energy saving design; Like less sprawl design/cluster; Houses closer together gives a sense of security
    - Prefer this one to other scenarios – better; Recent Rolling Greens (submission) OK - not bad

What don't you like?

- Commercial
    - Don't like any commercial beyond what is allowed by current zoning [10]; No commercial at all - mom and pop's can't stay in business - too much competition - not needed [4]; Don't like scale of commercial - amount and size - rather see neighborhood scale businesses [2]; Don't like commercial (hard to survive; competing with Home Depot and Walmart) [1]; Don't like amount of commercial [1]; Beginning of Route 2 in Warwick; Don't want to have Tiogue Ave or Bald Hill [1];
    - Post Road vacant property; Empty store ½ mile away [3]
    - 102 already built up
    - This plan is too congested
    - A lot of development to the east; preserve west of Route 4
    - Need better buffer between Bald Hill Nursery development and Plain Rd; Want more buffer between Bald Hill Nursery and Plain Rd
    - No bank, pharmacy, coffee shop; No fast food
    - Creating isolated pockets of commercial (Rt. 4, Wickford Junction etc) - not walkable between pockets; Hard to integrate with Wickford Junction
- Traffic - Route 2 is one lane both directions – dangerous
- Schools/Fiscal - Like kids but not school impact [1]
- Environment
    - Impervious cover and concentration of impervious cover in groundwater overlay [2]
    - Would put pressure on Exeter to develop too - will lose farmland [2]

Other?

- If commercial, make it more walkable [1]
- Not South County Commons - too dense [1]
- 55 yr+/density good but not location; Nice plan, wrong location - not in center of town - out of place [1]
- Sustainability of businesses that don't already exist in town [1]
- Where is access to Schartner on Route 102?
- Need change to corridor with better design
- What does town gain from developing here?
- All has to relate to each other; mix residential into Schartner and Corner Tavern

From October 10:

What do you like?

- The golf course

What don't you like?

- Area isn't preserved
- This is out of place for the whole town

- There is no need for more affordable housing
- There are too many intersections
- I don't like the commercial, it should be removed. There is too much commercial / height. Buildings should not be higher than 2 stories
- Existing neighborhoods would be impacted
- Traffic would increase
- The village is really a mini-mall
- Concern about lighting at night
- There should be more green space.

Other?

- Could there be more of a mix between the Village Scenario (C) and the Conservation Design Scenario (A)? [Note: this triggered creation of Scenario B]
- Could the commercial be in the middle?
- Schartner's parcel should be changed to residential.
- Bald Hill Nursery and the Corner Tavern should be left as is.

Transfer of Development Rights (TDR) Village Scenario (Commercial Focus) (Scenario D)

From October 4:

What do you like?

- The golf course remains / stays agricultural [12]
- Preservation of farm [3]; keeps open space [1]
- Likes residential [3]
- Want residences for those over age 55 [2]
- The set backs off road for Rolling Greens [1]; setbacks are adequate
- Likes convenience of commercial for residential [1]
- Less commercial on Rolling Greens
- Condos and small shops
- 2 or 2.5 story, but not too high
- Like South County commons, living with commercial

What don't you like?

- Too much commercial [unanimous minus 1 participant], volume is inappropriate [9], too dense, too tall [4], too much too big doesn't fit [3]
- Cant support all this commercial [4]; too much business competition [1]; not enough market share; don't want so much concentrated commercial [3]
- Way out of character [3]; looks out of place [1]
- Too dense for ground water overlay [3]; water usage too high [1]
- Commercial too close to road needs setbacks [3]
- Don't like anything about it [3]
- Trade off not worth it, open space preservation not worth density gains [2]
- Unsafe for bikes [2]
- Vacant properties will be an eyesore [2]; economic & market don't support commercial [2]
- Not the thing I'd like to see [1]
- Worst intersection in state for traffic/speeding [1]

- Keep community of homes but use smaller stores [1]
- Neighborhood, pharmacy, too much commercial, needs small business
- Nursery commercial is too close to residential
- Don't like it
- Horrible entry to town

Other

- Want a plan for Schartner's
- Want TDRs to stay on table [1]
- Neighborhood commercial connect to houses

From October 10:

What do you like?

- Open space no longer zoned commercial
- Pathways
- High end multi-family
- Setback off the road
- Smaller houses; beds
- Single housing
- Golf course
- Connect bike path here to Wickford
- Keep open space
- Compromise – not so much impact on Beacon/Lang
- Top of the shop apartments
- Keeps agriculture
- Village/small shops/internal boulevard

What don't you like?

- Too dense commercial, don't need more commercial
- More commercial will result in traffic "cut through" in residential neighborhoods
- No high buildings
- South County Commons ugly
- Low end multi-family
- High density commercial
- Affordable housing
- No commercial – get rid of it all
- Higher density not worth the trade off for TDR
- Not enough buffer
- Light pollution
- Too many buildings
- Residential too dense – water
- No college rentals here
- Traffic
- Don't want to lose property value
- Right turn out of Beacon Dr. (immediately into commercial)

Suggestions?

- Move Bald Hill Nursery to Schartner's parcel to protect existing residential neighborhoods
- Concentrate commercial to Rt. 102 to prevent impacts to Beacon Drive

Current Buildout Scenario (Scenario E)

From October 4:

What do you like?

- Nothing [11]
- Limits on commercial development [9]
- Bike path [7]
- Sticks with current zoning [6]
- Size (not huge) [4]
- Feel of suburbia [2]
- Residential use (fits into surrounding area) [1]
- Spreading out residential units (likes conventional residential rather than cluster) [1]
- Roundabout
- Residential lot size

What don't you like?

- Eliminates Golf Course [19]
- Commercial size and layout [8]
- Large lot residential [5]
- Loss of Agricultural land [4]
- No conservation [4]
- Too many intersections [4]
- Sprawl [1]

Other

- Impacts on infrastructure and Town services [1]
- Potential school redistricting
- It's straight and boring (conventional residential subdivision layout vs. cluster)
- No interconnections

From October 10:

What do you like?

- Low height commercial
- Oatley's is still there
- Single family; large lots
- Keeps with Comprehensive Plan - minus general business
- Residential
- Houses
- Bike path; walking
- Continues old pattern from old neighborhood to new

What don't you like?

- Polluting aquifer
- No open space
- No size limit on commercial
- Potential traffic
- No golf course
- Too dense
- No recreation
- Large store space
- Sprawl
- Commercial out of character with the area
- All built out (residential and commercial)
- Schartner's is a business

Appropriate uses?

- Small businesses
- Wedding barns
- Winery

Appendix A: Attendance at Public Workshops

This list includes those who attended the in person sessions and signed in.

MEMBERS OF THE PUBLIC			
	Public Workshop 1 October 4, 2012	Neighborhood Focus Group October 10, 2012	Public Workshop 2 October 15, 2012
Alexander, Betsy		X	
Alexander, Eric		X	
Almeida, Jim	X		
Alves, Deb		X	
Alves, Jeff		X	
Avancato, Lynda			X
Baldwin, Tanya	X		
Baton, Deb	X		
Battaglia, Carole		X	
Beatty, Bob		X	
Bullard, David		X	
Bullard, Meghan		X	
Costa, Rep		X	
Cotter, Elizabeth		X	
Cotter, Thomas		X	
Desantis, Kay		X	
Dioneo, Bob		X	
Duffy, Jerry	X		
Duncan, Dave		X	
Duncan, Jean		X	
Famiglietti, Bob	X	X	
Farnsworth, Dan		X	
Federici, Everett		X	
Fellecione, Sandy	X		
Freeborn, Jan	X		
Ganung, Ann		X	X
Ganung, Jim	X	X	X
Gardiner, Don	X		X
Gillette, Pam	X		X
Greene, Joann	X		
Haden, John		X	
Hahn, Bill			X
Hale, Lynn		X	
Hart, Robert		X	
Hawkins, Heather	X		
Hawkins,Robert	X		
Henson-Malory, Yvonne	X		
Hill, Chris	X		

Hummel, Abby	X		
Hyland, Sandra		X	
King, Ewa		X	
King, Peter		X	
Koehn, Harold	X	X	
Kolling, Deborah	X		
Lyndeblad, Bethany		X	
Lyndeblad, Conroy		X	
Lyndeblad, Sharon		X	
Lyons, Mary Kay		X	
Maine, Randy	X		
Maloney, Yvonne		X	X
Mann, Ronald		X	
Marcus, Susan	X		
McAller, Jan			X
McGee, Tim			X
McHugh, Candice		X	
McHugh, Patrick		X	
McKay, Kerry	X		
McKay, Lisa	X		
McKay, Steven	X		
McNamara, Sandra		X	
Mengan, Jessica	X		
Merrill, John	X		
Metro, John		X	
Montella, Salvatore	X		
Morris, Maryann		X	
Murphy, Eileen		X	
Nelson, Mary		X	
O'Farrell, Brian		X	
O'Sullivan, Alice	X	X	X
Ostrowski, Scott		X	
Pelleccione, Greig	X		
Piechocki, Joe		X	
Plante, Steve	X	X	
Ponte, Skip		X	
Pucino, Joan		X	
Rice Kathleen		X	X
Rice, Matthew		X	X
Rosendale, Michael		X	
Ross, John		X	
Sampson, David	X	X	X
Sampson, Maria	X	X	X
Schnebt, Bob	X		
Simeone, Josephine		X	

Simeone, Nicholas		X	
Sullivan, Don		X	
Sullivan, Melanie		X	
Thompson, Rick	X	X	X
Tingley, Suzanna		X	
Topakian, Lisa			X
Trask, Peter	X	X	X
Vanderbeck, Donna		X	
Vanderbeck, Jack		X	
Venditto, Paul		X	
Voso, Beth		X	
Wicker, Carl	X		
Wicker, Kyle	X		
Zucchi, Lynne		X	
Zupa, Jason	X		
[No Last Name Given], Nathan	X		

MEMBERS OF THE STAKEHOLDER GROUP AND PROJECT TEAM			
Stakeholder Group Members & Alternates	Public Workshop 1 October 4, 2012	Neighborhood Focus Group October 10, 2012	Public Workshop 2 October 15, 2012
Abbot, Michael	X		X
Cohen, Ahren			X
Dion, Paul		X	X
Hawkins, Mark	X	X	X
Kerr, Meg	X		X
Kolling, Thomas	X	X	X
Lyons, Al		X	
Maloney, Kevin	X	X	X
O'Sullivan, Colin	X	X	X
Oatley, Vaughn	X		
Pugh, Martha			X
Reiner, Jon	X	X	X
Schartner, Jr.,Richard	X		
Schartner, Rit	X		
Zucchi, Jeff	X	X	
Project Team Members			
Ferguson, Ona	X	X	X
Flinker, Peter	X		X
Kelly, Nathan	X	X	X
Lamond, Becky	X	X	X
Licardi, Sue	X	X	X
Reiner, Jon (See above)	X	X	X

Appendix B: Scenarios Discussed

The following is a quick summary of the scenarios discussed in the public engagement phase of this visioning project. Please see the project website for the five maps depicting what each might look like, a memo with a more detailed description of the scenarios, and to see the chart comparing the scenarios.

A. Conservation Design Scenario – This scenario for the future development of the intersection is based on existing regulations for Rolling Greens, and changing the zoning on the other three parcels, Schartner Bald Hill Nursery, Corner Tavern, and Bald Hill Garden Center, to residential. The Rolling Greens property could be built under this zoning today. The Morris Farm property (in Exeter) could be built to this development option today. As for the Corner Tavern and the Bald Hill Garden Center, this is what the current Comprehensive Plan states should be built on these properties in the future. These two properties are both currently zoned commercial. This scenario has approximately 54 house lots on the Rolling Greens property, 17 house lots on the Morris Farm (in Exeter), 5 house lots on the Schartner property, the Corner Tavern still has the restaurant on it, and the garden center has 5 house lots.

B. Mixed-Use Village Scenario (Residential Focus) – This scenario shows the current proposal for Rolling Greens except for a reduction in commercial area from 50,000 square feet to 30,000 s.f. Each of the two Schartner properties, as well as the Bald Hill Garden Center site, would have 20,000 square feet of commercial and 15 residential units. For each of the three properties, these are shown as a mix of five two-bedroom homes, and ten one-bedroom cottages. This proposal would require a zone change and comprehensive plan amendment changing the Rolling Greens property as well as the Schartner parcels, Corner Tavern and the Bald Hill Garden Center to a Compact Village District (CVD). The Corner Tavern current restaurant use would remain unchanged in this scenario.

C. Village Scenario (Commercial Focus) – This scenario for the future development of the intersection shows the Rolling Greens property as what the applicant would like to build on this piece of property and conceptually expands that development pattern to other commercially zoned pieces of land to the south and west including the Schartner land, the Corner Tavern, and the Bald Hill Garden Center. This proposal would require a zone change and comprehensive plan amendment for all of the focus parcels at the intersection including the entire Rolling Greens property, the Corner Tavern, the Bald Hill Garden Center, and the Schartner Bald Hill Nursery piece to a Compact Village District (CVD). This plan for RG has approximately 50,000 square feet of commercial space, including approximately 5,000 for a new Oatley's restaurant, and approximately 106 residential housing units. This scenario has 60,000 square feet of office or retail uses at each of the Schartner properties, maintains 6,000 square feet of restaurant at the corner tavern, and adds 67,500 square feet of retail/office at the Bald Hill Garden Center site. The CVD zone does not allow a commercial building footprint to exceed 15,000 square feet for a parcel 10 acres in size or larger, and if a parcel is less than 10 acres, the largest commercial footprint allowed would be 10,000 square feet. Under this scenario, the maximum number of buildings with a 15,000 square foot footprint would be 3, 1 on the Rolling Greens property, 1 on the Schartner property, and possibly 1 on the Bald Hill Garden Center if they combined some of the land from the Tavern piece to their property to make it 10 acres in size.

D. Transfer of Development Rights (TDR) Village Scenario (Commercial Focus) –This scenario for the future development of the intersection shows an example of a more dense "village

development" option for the intersection. Using TDR, the 120,000 square feet of commercial/office space that could be built on the two Shartner properties would be transferred across the street, with 50,000 s.f. added to the Rolling Greens commercial area, 2,500 s.f added to the Corner Tavern property, and 67,500 s.f. added to the potential commercial development on the Bald Hill Garden Center site. This development option would thus have the same total amount of commercial development as the first village scenario, but the development would be more dense (2 or 2-1/2 story buildings instead of single story). Meanwhile both the Morris Farm and the Shartner properties would be permanently protected.

E. Current Buildout Scenario - This scenario for the future development of the intersection shows what could be built today under the current zoning. These options could realistically meet all of North Kingstown's groundwater protection requirements, and have sufficient water capacity to build at this development intensity. The specific development types and building sizes are indicated on the plan. This development scenario will include the loss of the golf course, the development of over 50 3-4 bedroom houses in North Kingstown at Rolling Greens, the development of over 120,000 square feet of office or retail on the Schartner property, approximately 75,000 square feet of retail on the garden center property, and either keeping a restaurant, or having a possible pharmacy or other large similar use on the corner tavern property.

APPENDIX E:

List of Materials Developed for the Visioning Process.

Route 2 and 102 Stakeholder Visioning Process
August – November, 2012
North Kingstown, RI

Complete list of Materials Prepared and Used

This list includes all the materials prepared by the Project Team for this project. Stakeholder Group members themselves occasionally emailed or distributed materials, which are not included in this list. The materials listed here will be kept on file with the North Kingstown, RI Planning Department.

Sent to Stakeholder Group Members in Advance of Meeting 1

- Meeting 1 agenda
- Meeting Packet

Presented or Distributed at or after Meeting 1, August 23, 2012

Handouts & Presentations

- Meeting 1 agenda
- Presentation: Introduction, Key Issues & Current Situation
- Presentation: Context and Overview

Sent to Participants

- Meeting 2 agenda
- Draft Meeting 1 summary

Presented or Distributed at or after Meeting 2, September 6, 2012

Handouts & Presentations

- Meeting 2 agenda
- Maps: Building Constraints, Buildout, Site Context

Sent to Participants

- Meeting 3 agenda
- Draft Meeting 2 summary

Presented or Distributed at or after Meeting 3, September 26, 2012

Handouts & Presentations

- Meeting 3 agenda
- Presentation: Water Quality and Quantity
- Presentation: Scenarios

Sent to Participants

- Meeting 4 agenda
- Draft Meeting 3 summary

Presented or Distributed at or after Meeting 4, October 25, 2012

Handouts & Presentations

- Meeting 4 agenda

- Scenarios memo, scenarios comparison chart, and scenario renderings
- Public Input Summary
- Focus Study Area Map
- Roadway Design Map
- South County Design Manual Scenarios

Sent to Participants After

- Meeting 5 agenda
- Draft Meeting 4 summary
- List of Issues and Principals for discussion at Meeting 5

Presented or Distributed at or after Meeting 5, November 7, 2012

Handouts & Presentations

- Meeting 5 agenda
- Buffer Map

Sent to Participants After

- Draft Meeting 5 summary
- Draft final recommendations document
- Final version of final recommendations